

**STANDARDS
FOR
RENOVATION**

WESTMINSTER

STANDARDS FOR RENOVATION

**Prepared For
THE CITY OF WESTMINSTER, MARYLAND**

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Columbia, Maryland
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INTRODUCTION:

In preparing the proposed program for Westminster's Downtown Retail Area Revitalization effort the buildings along Main Street have been carefully studied. The Standards For Renovation consider the various elements of the buildings and propose "criteria" for each element including the Main Street building facade; the building exterior other than the facade i.e., the "building shell"; rear lot areas such as yards and service zones; store fronts and show windows; and, sign design size and location.

The Standards are specific and are prepared in a form which is intended to foster their adoption as a part of the Westminster Town Center Renewal Plan. However, it is also appropriate to state more briefly the general objectives of the proposed Standards in order that they may be discussed and a consensus reached amongst the interested parties as to their acceptance. The following therefore is a more general statement upon which the detailed Standards have been prepared.

I. General Objectives for Exterior Rehabilitation

1. The rehabilitation objective is to retain and, where possible, to recapture the original architectural character of the building. In most cases, the building facades above the first floor have undergone little or no alterations to their original design. Cleaning, repairing and refinishing of masonry, cornices, windows and other elements on the exterior is therefore encouraged.
2. Where a building facade has been altered through the use of covering material(s) the recapture of original character is encouraged by removal of applied material(s) and repairing and restoring the original facade.
3. In many cases the ground floor facades, especially storefronts, have undergone substantial changes from the original construction and it may be impractical to duplicate the original design and materials. In such case, where new storefront construction is contemplated, storefront design with materials different from the original building may be necessary. Nevertheless, to the extent possible, certain

salvageable elements such as pilasters, columns or cornices could be incorporated in the new design and large blank wall areas at the ground floor should be avoided. The ground floor design should be compatible and harmonious with the architectural character and materials of the building.

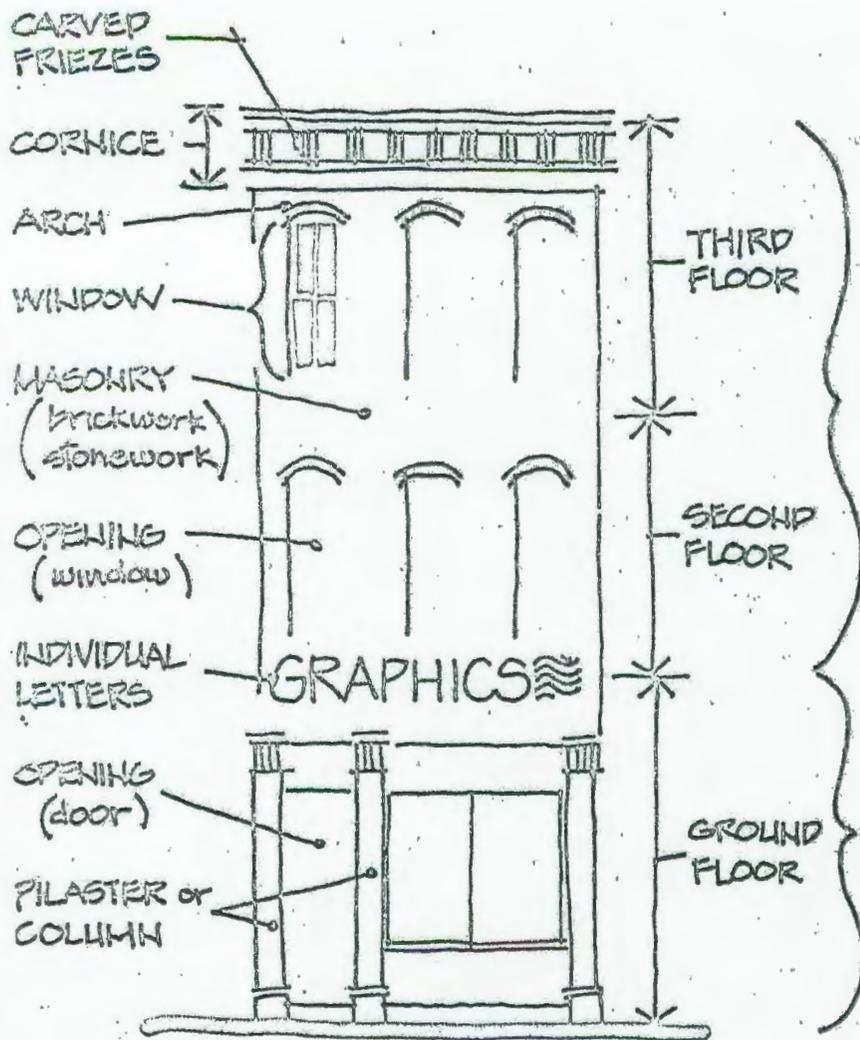
4. Painting of window glass at any floor in order to screen the view shall be avoided. Where screening is desired the use of suitable curtains, blinds or shutters is encouraged.
5. Unused miscellaneous elements remaining on building fronts, such as empty electrical conduit, sign brackets, etc., should be removed.
6. Additions or expansion of existing structures should duplicate the material and architectural character of the existing building.
7. Placement of signs shall be generally restricted to the ground floor of the main street elevation of the building. Signs should be designed in a manner so that they do not interfere with important architectural details (e.g., cornices, carved friezes, arches) of the buildings. Generally placement entirely on a first portion of facade or an area entirely within the confines of an opening is encouraged (e.g., window, foyer, doorway, etc.).
8. In special circumstances, signs may be placed on upper floors if it is determined (a) that there is no prudent means of accommodating the sign on the first floor consistent with the paragraph above or (b) certain special signs (such as those incorporating weather information) or signs announcing the name of a building. Signs under (b) should consist of individual letters attached to the building surface or be designed as an integral part of the building. Painted signs on the building surface are discouraged.
9. Painted graphic design or murals may be permitted with "special" approval.
10. Design of signs by qualified graphic designers is encouraged. Size, shape, letter style(s), colors, lighting, method of installation and general compatibility with the building design should be considered. Use of graphic symbols is encouraged.

II STANDARD FOR RENOVATION

A. Building Facade

B. Building Shell

C. Rear Yards and Service Areas



UPPER FLOORS

- STATIC AREA
- RESIDENTIAL USE
- OFFICE USE
- WINDOWS w/ CURTAINS
- ARCHITECTURAL CHARACTER

STOREFRONT

- ACTIVE AREA
- SHOW WINDOWS
- GRAPHICS
- COLOR
- ILLUMINATION
- PEDESTRIAN SCALE

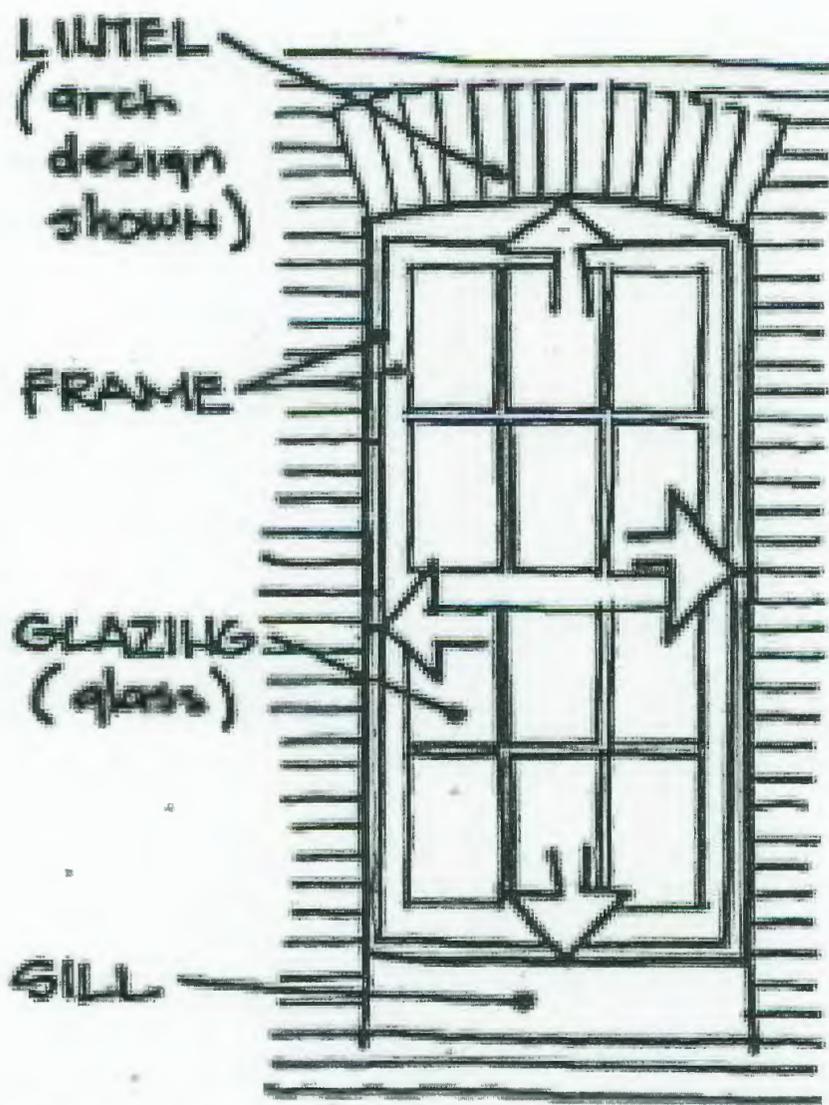
KEEP ARCHITECTURE AT A PEDESTRIAN SIZE AND SCALE, DISPLAYS AND GRAPHICS ARE KEPT AT GROUND FLOOR WITHIN THE PEDESTRIAN FIELD OF VISION.

NOMENCLATURE for
STANDARDS FOR EXTERIOR REHABILITATION

II. (A) STANDARDS FOR RENOVATION – BUILDING FACADE

1. BUILDING FRONT WALLS (FACADE)

- a. All exterior walls above the ground floor (forming part of the original construction) of a building shall be cleaned and repaired. Brick walls shall be pointed where necessary. Painted masonry walls shall have loose material removed and be painted a single color except for trim, which may be another color. Patched walls shall match the existing adjacent surfaces as to material, color, bond and joining.
 - i. All structural and decorative elements of the building front above the ground floor shall be repaired or replaced where necessary in a workmanlike manner to match the original materials and construction techniques.
 - ii. All exposed and visible surfaces shall be cleaned or painted and repaired to present an acceptable appearance.
 - iii. In the case of corner buildings, these regulations shall apply to all frontages on public rights-of-way.
 - iv. Colors for all painted surfaces shall be selected from the approved color chart, or as approved by the Renewal Standards Compliance Committee.
- b. In the case of original front walls which have been wholly or partially resurfaced or built over these surfacing materials shall be removed, and the building front repaired in the manner described. If restoration of the original materials is determined to be unfeasible, the front shall be improved in a manner acceptable to the City.



* ARROWS INDICATE WINDOW OPENING

WINDOW

2. WINDOWS AND WINDOW FRAMES

- a. All broken and missing windows shall be glazed. All frames, lintels and sills shall be repaired and replaced as needed. All exposed wood shall be repaired and painted.
- b. Window openings in upper floors of the building front shall not be filled or "boarded up". Windows in unused areas of the upper floors should have an acceptable opaque surface on the inside of the glass or should otherwise be treated in an acceptable manner to prevent a view of the interior. Painting of window panes is not acceptable. Retention or original windows, when possible, is encouraged.

3. CORNICES

All cornices shall be made structurally sound and rotted or weakened portions shall be removed and repaired or replaced to match the original patterns. All exposed wood shall be painted.

RELOCATE ANTENNAS
TO LESS CONSPICUOUS
AREA

REMOVE ABANDONED
SIGN SUPPORTS

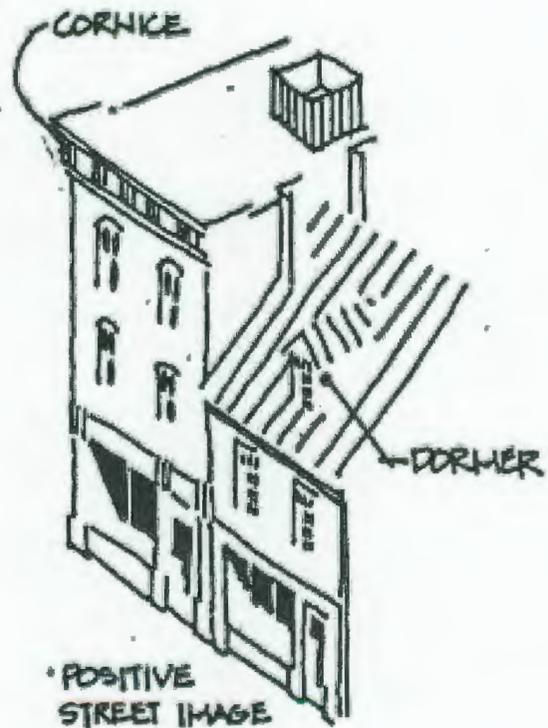
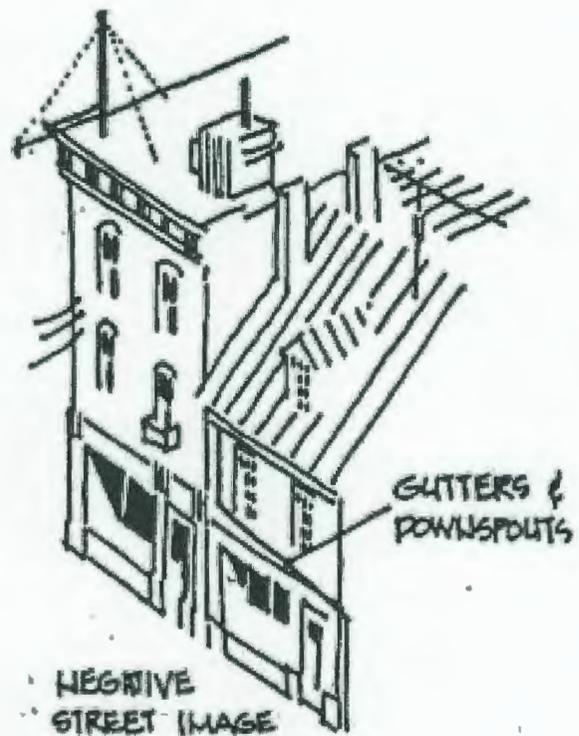
MECHANICAL ROOF MOUNTED
EQUIPMENT SHOULD BE
LOCATED TO THE REAR OF
THE BUILDING AND SHOULD
BE SCREENED

RELOCATE EXPOSED AIR
CONDITIONERS FROM BUILDING
FRONT TO LESS VISIBLE AREA
ON ROOF OR BUILDING REAR

AVOID APPOINTMENTS WHICH
DETERIORATE QUICKLY and STAIN

EXHAUST FANS WITH EXPOSED
BLADES TO BE AVOIDED WHERE
VISIBLE FROM STREET

**BUILDING FACADE
(BUILDING FRONT)**



4. AIR CONDITIONING UNITS

Use of air conditioning units of the window type on the fronts of buildings should be avoided wherever possible.

5. DORMERS

Dormers on roofs sloping toward the shopping street shall be treated with the same criteria as building fronts.

6. MISCELLANEOUS

Existing miscellaneous elements on the building fronts, such as empty electrical conduit for signs, unused sign brackets, etc., shall be eliminated.

7. GUTTERS AND DOWNSPOUTS

Metal gutters and downspouts shall be repaired or replaced as necessary and shall be neatly located and securely installed. Gutters and downspouts shall be painted to harmonize with other building front colors.

II. (B) STANDARDS FOR RENOVATION

BUILDING SHELL (Other than the Main Street Facade)

1. CRITERIA

- a. Group of buildings being used by a single tenant should be renovated in a unified and harmonious manner.
- b. Buildings should be renovated and repaired with materials and in a manner consistent with the original construction techniques.

2. REAR AND SIDE WALLS

- a. Rear and side walls shall be repaired to present a neat and fresh appearance.
- b. Side and rear walls, where visible from the shopping street and public spaces shall be finished or painted so as to be harmonious with the facade treatment of the building.

3. ROOFS

- a. Chimneys, elevator penthouses or any other auxiliary structures on the roofs shall be repaired and cleaned as required for rear and side walls. Any construction visible from the street or from other buildings shall be finished so as to be harmonious with other visible building walls.
- b. Any mechanical equipment placed on a roof shall be so located as to be view inconspicuous as possible. Equipment shall be screened with suitable elements of a permanent nature, finished so as to harmonize with the rest of the building. Where such screening is impossible or impractical, equipment shall be installed in a neat, presentable manner and shall be painted so as to minimize its visibility.
- c. Television and radio antennas shall be located so as to be as inconspicuous as possible and shall be installed in a neat and workmanlike manner.

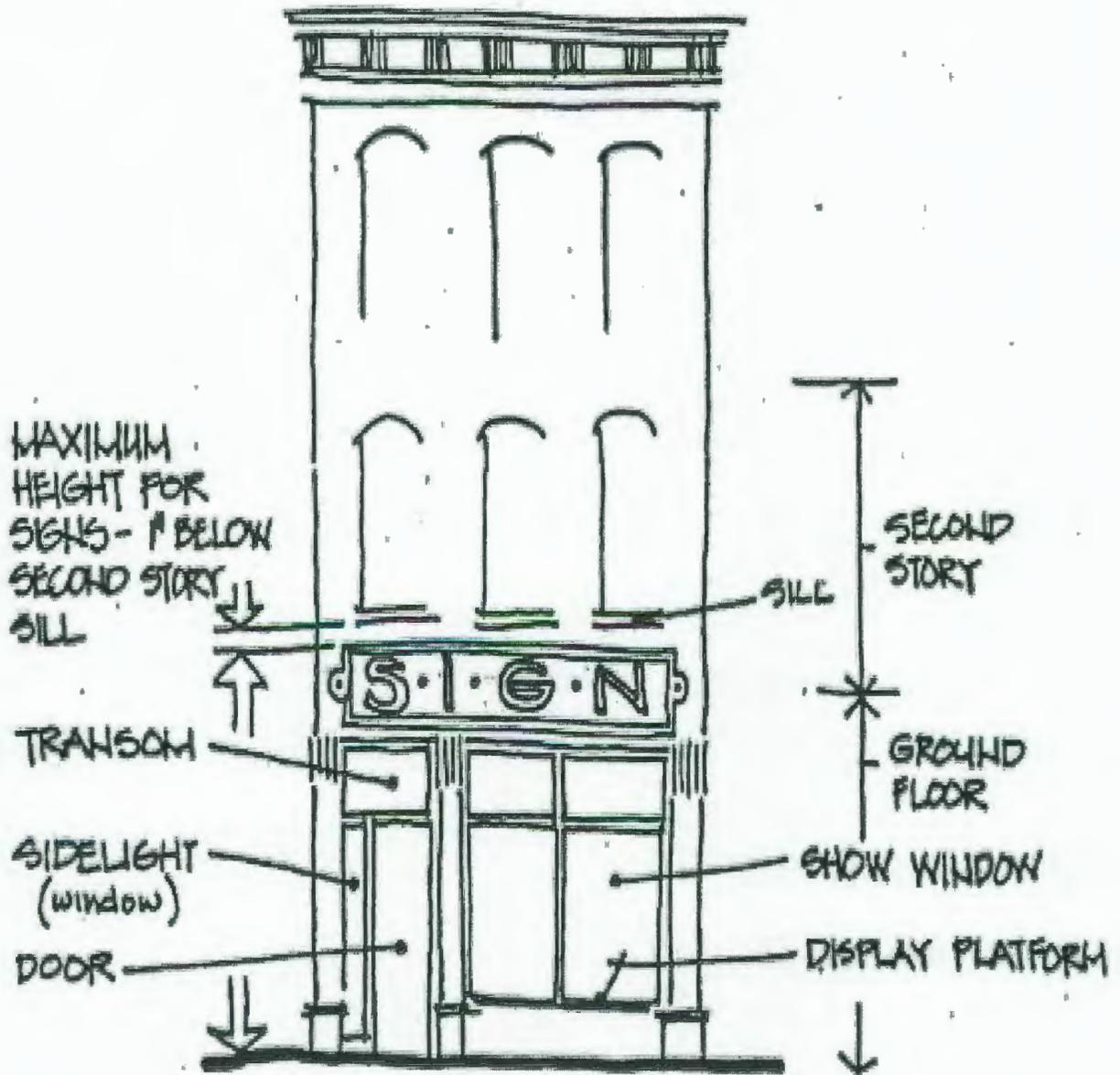
II. (C) STANDARDS FOR RENOVATION – REAR YARDS AND SERVICE AREAS

1. REAR YARDS AND SERVICE AREAS

Where a rear yard exists and is unused or is created through the demolition of structures, the owner should condition the open area as follows.

- a. A rear yard may be enclosed along side and rear property lines by a masonry wall if it is consistent and harmonious with the walls of the building being improved upon, or
- b. An unenclosed rear yard may be used as a parking or loading area, providing that it is properly paved, striped and illuminated. Landscaping is also encouraged.
- c. Chain link and open fences are not encouraged, but if used, should be properly designed for an appearance in keeping with the character of the structure being improved.
- d. No storage or trash containers should be in this area except when enclosed in structures of acceptable design or camouflaged by acceptable landscaping and/or screening.

**III. STANDARDS FOR THE DESIGN OF STOREFRONTS,
SHOW WINDOWS AND ENTRANCES**



NOMENCLATURE for STOREFRONTS

III. STANDARDS FOR THE DESIGN OF STOREFRONTS, SHOW WINDOWS AND ENTRANCES

DEFINITION

For the purposes of the design criteria, a "show window" as a part of the building facade shall be defined to include the building face and the entrance area leading to the door, the door and sidelights and transoms and all display platforms and devices including lighting and signing designed to be viewed from the public right-of-way and/or the areas visible to the public prior to entering the interior portion of the structure.

1. DESIGN CRITERIA

- a. The design of all proposed new store fronts, show windows and entrances and any alterations must be submitted for approval prior to construction.
- b. Solid or permanently enclosed or covered store fronts will not be permitted, unless treated as an integral part of the building façade, i.e., using similar or compatible wall materials and window detailing as the upper floors.
- c. Show windows, entrances, signs, lighting, sun protection, security grilles, etc., shall be designed to be compatible, harmonious and consistent with the scale and character of the existing structures. All elements of the storefront including awnings, signs, show windows, etc. shall be located within the area between the pavement and the second story window sill line.

- d. Show windows shall not be painted for advertising purposes.
Identification of the place of business may be painted on the show window if no other primary signage is used, subject to approval by the Committee. See also IV. e. Secondary Signs.

Likewise, no temporary or permanent signs may be affixed or placed against the inside surface of show windows.

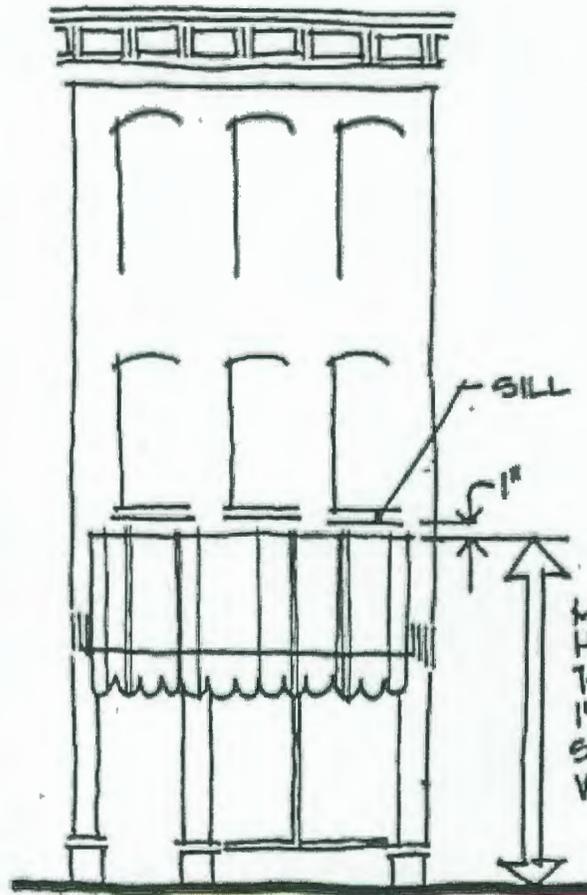
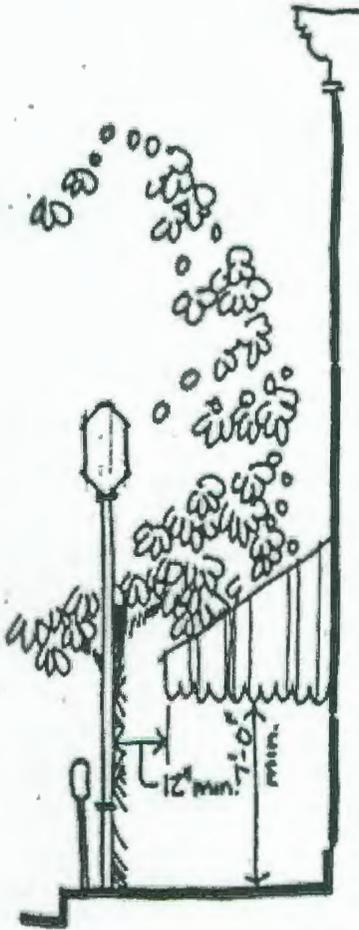
Decalcomanias of small area may be affixed to show windows or entrance door windows when same are supplied by national and local credit card companies and carry no text or message other than identification of such companies.

2. SECURITY GRILLES AND SCREENS

- a. Enclosures and housings for security grilles and screens should not be exposed or visible, but should be designed as an integral element of the storefront.

3. AWNINGS

- a. Soft, retractable awnings are permitted at the first floor.
- b. Awnings should be flame proof.
- c. Awnings should not project from building front so as to interfere with street trees, lampposts, etc.
- d. Awnings shall terminate against the building at a height not higher than one inch below the second floor windowsill.
- e. Fixed 'rooflets' in lieu of awnings shall not project more than 18 inches from the store front, or as approved by the Committee. A 'rooflet' is a minor roof with a pitch not steeper than 4 inches per foot. 'Mansard' roofs are not permitted except as befits the original character of the overall building.

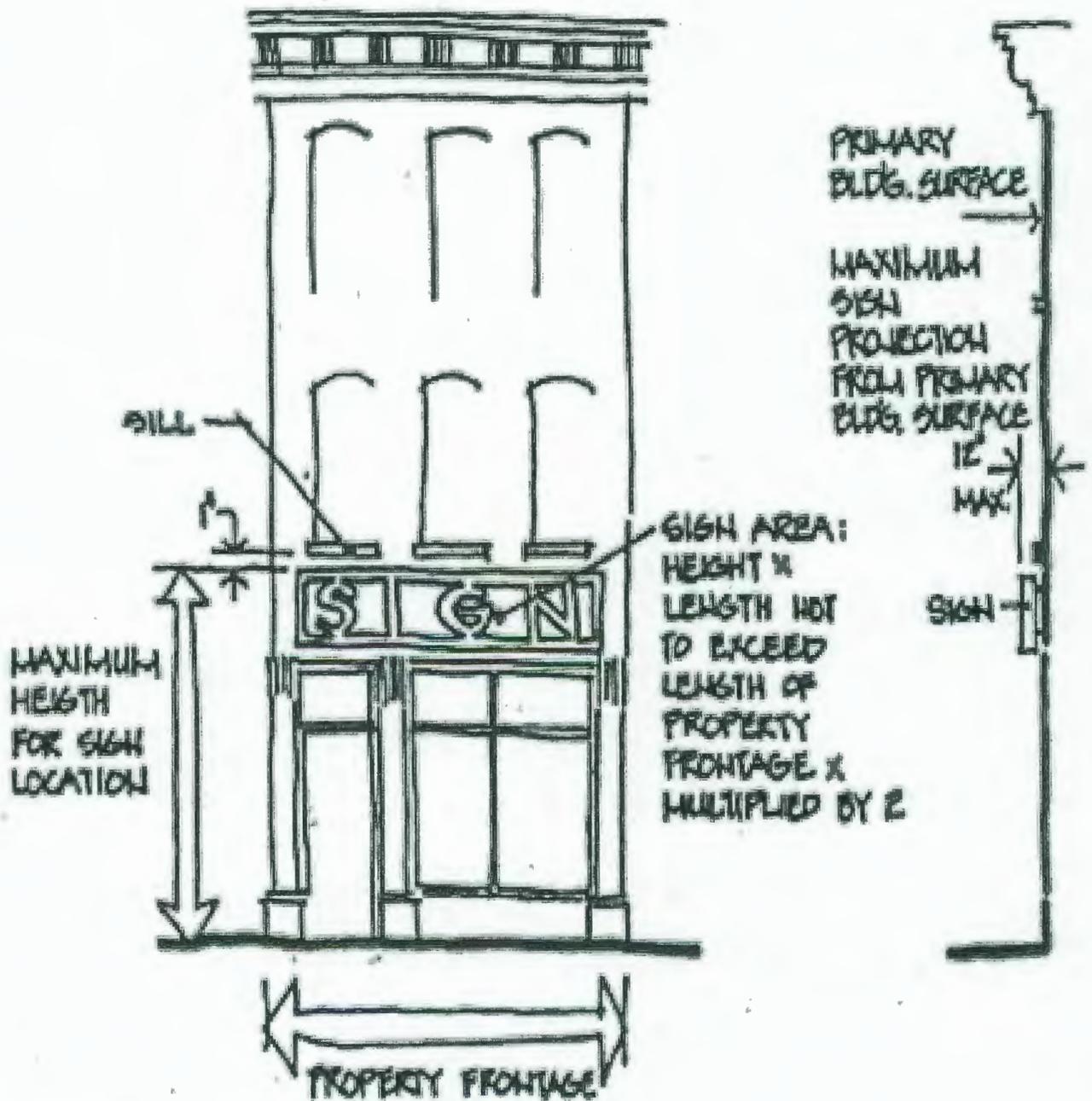


MAXIMUM
HEIGHT FOR
TOP OF AWNING
1" BELOW
SECOND STORY
WINDOW SILL.

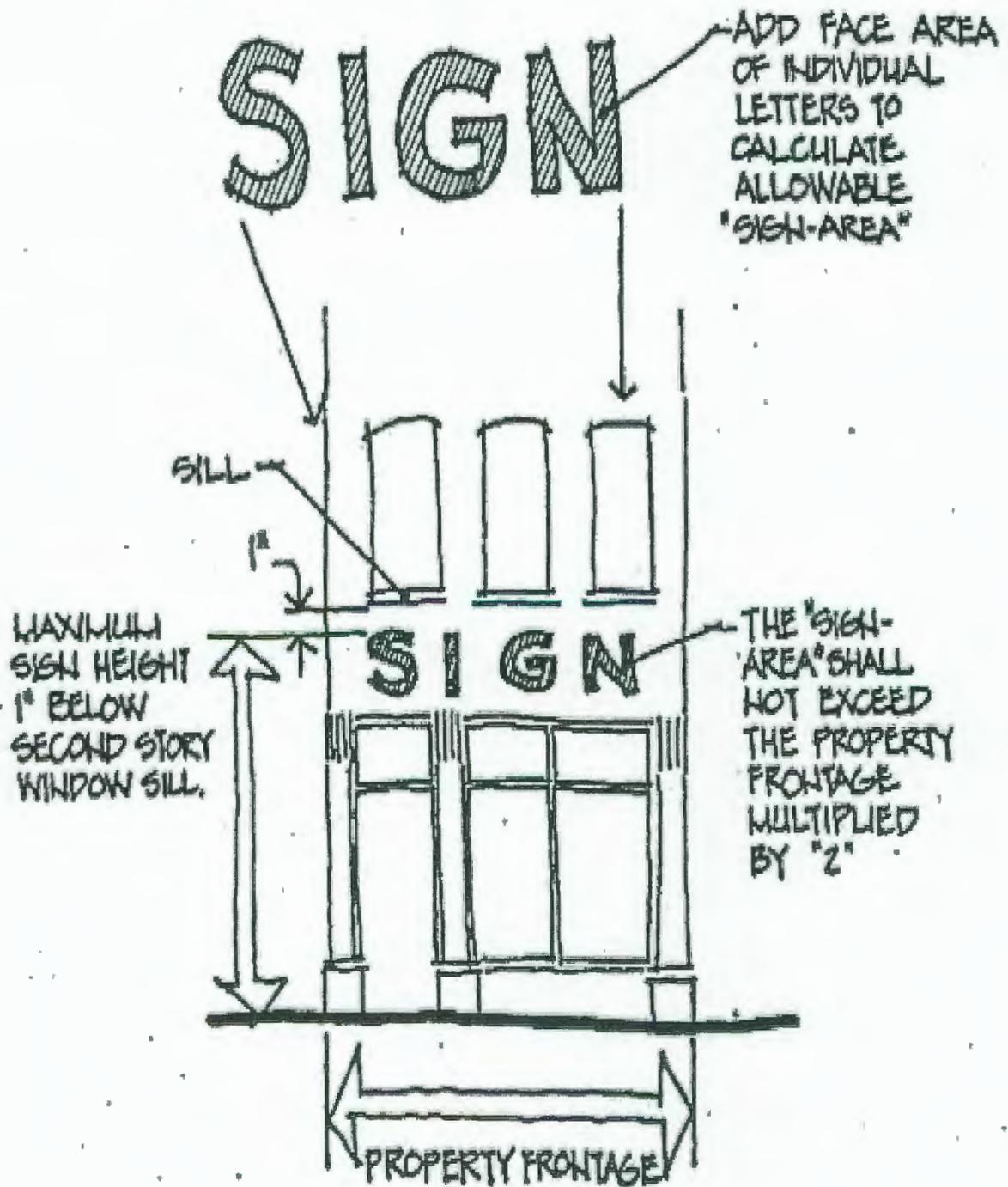
AWNINGS SHOULD
NOT INTERFERE WITH
STREET HARDWARE—
LIGHTPOLES, TREES,
SIGNS, etc.

AWNINGS

IV. STANDARD FOR SIGNS



SIGN AREA & LOCATION



MAXIMUM CUT-OUT LETTER SIZE (area)

IV. STANDARDS FOR SIGNS

1. DESIGN CRITERIA

- a. Design drawings of all proposed signs shall be submitted to the City for approval prior to fabrication and installation. Submission shall show the sign location in relation to the overall building facade.
- b. Moving signs or devices of any type other than barber poles shall not be permitted.
- c. Materials employed for construction of signs shall be durable and weather resistant, and all signs shall be maintained in good repair.
- d. The copy on any sign shall be limited to the name of the business and any other pertinent information related to the bona-fide business conducted on the premises. The advertising by material or product manufacturers and suppliers shall not be permitted on any exterior sign except as the primary identification for the place of business.
- e. Signs shall be fabricated and installed by qualified and experienced mechanics.
- f. Lettering should be known or recognizable type styles correctly executed.

2. FLAT SIGNS

- a. Flat signs shall be placed parallel to face of building.
- b. Separate cutout letters applied to building face may be used and are subject to the same regulations as flat signs.
- c. The maximum allowable sign size (area) shall be determined by multiplying the length of the building front times two (2) Example: 40 foot building front $40 \times 2 = 80$. Maximum sign size 80 square feet in area. Area of sign or the area of the building surface occupied by separate cutout letters shall not exceed the maximum allowable sign size. In the case of corner properties, the maximum sign size (area) to be calculated separately in direct proportion to the building frontage on each street.

- d. Signs shall be located so that no portion of the sign is higher than one inch below second-story windowsill line.
- e. Flat signs may not project more than twelve inches beyond the primary surface of the building.
- f. Flat signs may be luminous or illuminated by any acceptable method. No blinking, flashing or alternating lighting shall be permitted. All lighting and electrical elements such as wires, conduit, junction boxes, transformers, ballasts, switches and panel boxes shall be concealed from view. Internally lighted box-type signs will not be permitted except when they are designed so that:
 - The color combination and arrangement of the facade is compatible with the sign.
 - The top, bottom and sides of the sign is trimmed in a manner which is compatible with the design, material and color of the facade.
 - The box shape of the sign is sculpturally incorporated into the relief of the facade.
- g. Signs painted directly on the building surface shall be permitted in accordance with the above regulations for flat signs.

3. SECONDARY SIGNS

- a. Non-illuminated secondary signs shall be permitted at the ground floor level for the identification of commercial tenants occupying the upper floors of the building. Such signs shall not exceed one square foot in area and shall not project beyond the primary surface of the building.
- b. Lettering applied to ground-floor show windows or entrance doors shall be permitted providing that characters do not exceed two and one-half inches in height, and the text is limited to identification of business, except in the case of primary signs as permitted under 'Design Criteria' Section 1d.

4. AWNING SIGNS

Signs, symbols or designs painted or sewn onto awnings are permitted.

5. DELIVER SIGNS

Signs identifying the occupant shall be permitted at the rear entrance doors to the premises. Such signs shall be of non-luminous type, but may be illuminated by a protected, shielded incandescent light directed at the sign. The size of the sign shall not exceed six square feet in area. No other sign shall be permitted on the rear of the building.

6. PROHIBITED LOCATIONS FOR SIGNS

Signs shall not be placed:

- a. On the fronts of buildings above the ground floor level, or above a height of one inch below the second floor window sill line, whichever is lower;
- b. On the roofs of buildings;
- c. On the side walls of buildings;
- d. Directly on the insides of show windows.

7. BILLBOARDS

Billboards or outdoor advertising panels shall not be permitted.

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Bruce Manger

Illustrations by: Gary Maule

OTHER REFERENCES

Preservation Brief No. 1 entitled "The Cleaning and Waterproof Coating of Masonry Buildings" and Preservation Brief No. 2 entitled "Repointing Mortar Joints in Historic Brick Buildings" issued by the Technical Preservation Services Division of the National Park Service. Limited copies are available from the Maryland Historic Trust, Shaw House, 21 State Circle, Annapolis, MD 21401.

"The 8 Most Common Mistakes in Restoring Historic Houses (... And How to Avoid Them)" issued by the National Trust for Historic Preservation and available from that office, located at 740-748 Jackson Place, N.W., Washington, D.C. 20006.

"Guidelines for Rehabilitating Old Buildings" issued by the U.S. Department of Housing and Urban Development. Limited copies are available from the Maryland Historical Trust, Shaw House, 21 State Circle, Annapolis, MD 21401.

"Historic Building Evaluation Guide and Recommendations for Restoration Repairs of Old Buildings" issued by Preservation Resource Group, Inc., 5619 Southampton Drive, Springfield, Virginia 22151.

"The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings" issued by the U.S. Department of the Interior, National Park Service, Office of Archeology and Historic Preservation, Washington, D.C. 20240.