

ADMINISTRATIVE ADJUSTMENT HEARING

AGENDA

Tuesday, April 16, 2024, at 3 PM

Virtual Meeting:

<https://www.youtube.com/@CityofWestminsterMD/streams>

www.WestminsterMD.gov

1. Agenda - 04.16.24

Documents:

[APRIL 16, 2024 ADMINISTRATIVE ADJUSTMENT AGENDA.PDF](#)

2. Call To Order

Statement of Authority - Pursuant to Maryland Code Annotated, Land Use Article, Division 1, Single Jurisdiction Planning and Zoning, Title 4, Zoning, Subtitle 2, Designation and Adoption, Section 4-205 and the City of Westminster Zoning Ordinance Section 164-158.1A.(1), "...the Planning Director [Director] is authorized to grant administrative adjustments from the following requirements contained in this chapter:

- (a) Local height requirements;
- (b) Local setback requirements;
- (c) Local bulk requirements;
- (d) Local parking requirements;
- (e) Local loading, dimensional, or area requirements; or
- (f) Similar local requirements.

The Director may grant an administrative adjustment in cases where the strict compliance with the requirements of this chapter would result in practical difficulty or unreasonable hardship which has not been caused by the applicant.

3. Public Hearings

4. CASE NO: 24-02

An application by Matthew Mathias from BPR, LLC. representing their client Jordan Knox, property owner, requesting approval of an Administrative Adjustment for 288 East Main Street Westminster, Maryland 21157 (SDAT# 07-067887) to Zoning Ordinance Section 164-115. (D)(3) to allow for a relief of five feet from the required 25 feet of drive aisle width in the parking lot. The administrative adjustment is associated with a site development plan S-22-0034 to construct a four unit multiple family building.

Documents:

[AA 24-02 STAFF MEMO.PDF](#)

5. Adjournment



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I. Call to Order

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The Director may grant an administrative adjustment in cases where the strict compliance with the requirements of this chapter would result in practical difficulty or unreasonable hardship which has not been caused by the applicant.

II. Public Hearing

CASE NO: 24-02

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III. Adjournment

Posted April 12, 2024



To: Mark A. Depo, Director of Community Planning and Development

From: Andrea Gerhard, Comprehensive Planner

Hearing Date: April 16, 2024

Subject: **Administrative Adjustment Case AA 24-02 Staff Memo**

Re: An application by Matthew Mathias from BPR, LLC. representing their client Jordan Knox, property owner, requesting approval of an Administrative Adjustment for 288 East Main Street Westminster, Maryland 21157 (SDAT# 07-067887) to Zoning Ordinance Section 164-115. (D)(3) to allow for a relief of five feet from the required 25 feet of drive aisle width in the parking lot. The administrative adjustment is associated with a site development plan S-22-0034 to construct a four-unit multiple family building.

I. **BACKGROUND**

On March 21, 2024, an application was submitted to the Department of Community Planning and Development (DCPD) for an administrative adjustment at 288 E Main, Westminster, Maryland 21157 (the "Property"). The Property is zoned "D-B Downtown Business Zone" and is subject to the City of Westminster Zoning Ordinance (the "Zoning Ordinance"). The Maryland State Department of Assessments and Taxation (SDAT) online records indicate the property is identified as SDAT # 07-0067887 and owned by Jordan Knox, P.O. Box 317 Taneytown, MD 21787. The property is within the City of Westminster Historic District.

This property was previously the location of the Christian Yingling House. The house has since been demolished and the Property Owner has been going through a process with the Historic District Commission to provide a Historical Structural Report. The Property is currently vacant. Carroll County Permit C2-23-0874 for a 2-Story Shell Building for four two-bedroom multiple family dwelling unit (apartment) building at 288 E. Main Street was submitted to Carroll County Bureau of Permits and Inspections on May 12, 2023, and respective permits were submitted for each of the four apartment units on June 22, 2023. The City of Westminster received Site Plan S-22-0034 for the development on August 15, 2023, for Knox Property Apartments located at 288 East Main Street.

Pursuant to Zoning Ordinance Article VIII B, Section 164-45.8 (41), "Single-family attached dwellings and multiple-family dwellings for four or fewer dwelling units" use is a permitted

use in the D-B Downtown Business Zone.

II. NOTICE

The property was posted with notice of the pendency of the application and the adjoining property owners were notified of the application by first class mail as to the date, time, and place of the Administrative Adjustment Case AA 24-02 hearing. These notices were provided to meet the notification requirements set forth in the Section IV of the Administrative Adjustment Procedures, as contained in Resolution No. R-03-9. On April 12, 2024, a copy of the agenda was posted on the City's website.

III. AUTHORIZATION

Pursuant to Maryland Code Annotated, Land Use Article, Division 1, Single Jurisdiction Planning and Zoning, Title 4, Zoning, Subtitle 2, Designation and Adoption, § 4-205 and Section 164-158.1 A. (1), of the City Zoning Ordinance, "...the Planning Director is authorized to grant administrative adjustments from the following requirements contained in this chapter:"

- (a) Local height requirements;
- (b) Local setback requirements;
- (c) Local bulk requirements;
- (d) Local parking requirements;
- (e) Local loading, dimensional, or area requirements; or
- (f) Similar local requirements.

IV. PROCESS

On July 14, 2003, the Mayor and Common Council adopted Resolution R-03-9 that contains Administrative Adjustment Procedures (Section 164-158.1 B.). Under section three D. of the procedures, "an applicant should understand that an administrative adjustment is an exception to the general requirements imposed under Chapter 164 and that its obtention is not a matter of right. An applicant bears the burden of persuasion and proof to justify the granting of an administrative adjustment". Under section five of the procedures, the Director may consider the factors set forth in Section 164-161.A.(3), originally related to the BZA variance requests. The Director shall not grant an administrative adjustment if to do so would violate the spirit and intent of the requirements or cause or would be likely to cause substantial injury to the public health, safety and general welfare.

V. PROPOSAL

Site Plan S-22-0034, 288 E Main Street, is continuing through the development review process. There is an historic outbuilding on the property that is proposed to be preserved. Due to the size constraints of the property and the required preservation, it is difficult to meet the 25 feet wide drive aisle requirement of the Zoning Ordinance. The Applicant is

seeking an Administrative Adjustment to reduce this requirement to 20 feet. The applicant has submitted the required Water and Sewer Allocation Application WSA-21-33 for four apartments at the Property.

Access Drive

During the review for SS-22-0034, it was realized that due to the size constraints of the property and the preservation of the historic outbuilding, it is difficult to meet the 25 feet wide drive aisle requirement of the Zoning Ordinance.

The applicant is asking for an administrative adjustment to reduce the drive aisle width to 20 feet. The applicant has provided AASHTO Turning Templates, in what they state demonstrates that all the appropriate vehicular circulation can still be achieved with the reduced aisle width. That document has been included as an attachment for your review and consideration.

In evaluating the requested Administrative Adjustment, the Director may consider the factors set forth in Section 164-161A.(3), as follows:

1. There are exceptional or extraordinary circumstances or conditions applying to the Property in question or to the intended use of the Property that do not apply generally to other properties or classes of uses in the same zone;

This property is in the Historic District and will be the location of the first fully redeveloped residential building on Main Street. The Property Owner is required to maintain the historic outbuilding and because of this is finding it difficult to find the additional 5 feet for the drive aisle. Historically, the property has operated as a residential use in the past without providing the required 25 feet drive aisles.

2. Such variance [administrative adjustment] is necessary for the preservation and enjoyment of substantial Property rights possessed by other properties in the same zone and in the same vicinity; and

Many properties in the historic district experience the same limitations (developed property, older existing structures, operated uses in the past without providing additional on-site parking) when it comes to meeting today's requirements for setbacks or parking standards.

3. The authorizing of such variance [administrative adjustment] will not be of substantial detriment to adjacent properties and will not materially impair the purpose of this chapter or the public interest.

There will be no detriment to adjacent properties due to this Administrative Adjustment.

VI. FINDINGS OF FACTS AND CONCLUSIONS OF LAW

Staff recommends that the Director consider the following as findings of fact and conclusions of law:

- The property is in the Westminster Historic District and will be the location of the first fully redeveloped residential building on Main Street.
- It is not unusual for properties in the Historic Downtown to provide required on-site parking spaces, requiring a request to reduce parking standards.
- The applicant has provided a AASHTO Turning Templates, showing that they feel that all the appropriate vehicular circulation can still be achieved with the reduced aisle width.
- The authorizing of the administrative adjustments will not be of substantial detriment to adjacent properties and will not materially impair the purpose of this chapter or the public interest.

VII. DECISION

Under section five of the procedures, “subsequent to the conduct of a hearing, the Director shall decide the issue(s) raised by the application. The decision shall be in writing and provide a brief explanation of the law and facts which support it. In evaluating the application, the Director may consider the factors set forth in Section 164-161 A(3). In making a decision, the Director may grant the administrative adjustment in cases where the strict compliance with Chapter 164 would result in practical difficulty or unreasonable hardship which has not been caused by the applicant. The Director shall not grant an administrative adjustment if to do so would violate the spirit and intent of the requirements or cause or would be likely to cause substantial injury to the public health, safety and general welfare.

VIII. RECOMMENDATION

Staff recommends approval of the proposed Administrative Adjustment, per § 164-158.1 of the City Code.

IX. ATTACHMENTS

1. Site Location Aerial Map
2. Simplified Site Plan SS-22-0034
3. Administrative Adjustment Application
4. AASHTO Turning Templates

GENERAL NOTES

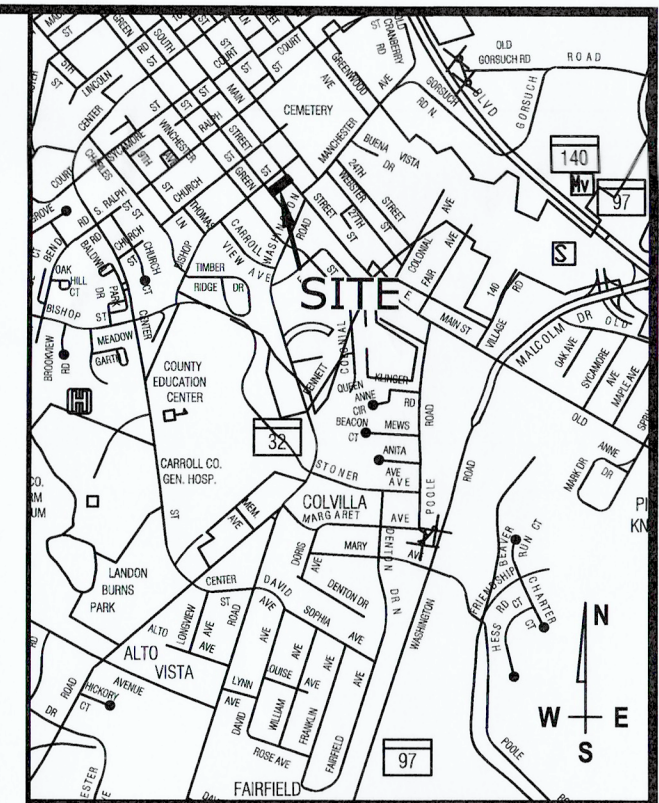
- EXISTING ZONING: D-B (DOWNTOWN BUSINESS) - APARTMENTS
Setbacks: Front: None
Side(along alley or public RW): 10 Ft or Equal to Adjacent Buildings
Side(not long alley of public RW): 0 to 3 ft
Rear: 5 feet
- TOTAL AREA OF PROPERTY: 10,896 SF (0.25 AC.)
- TOTAL DEVELOPED AREA (LOD): 11,392 SF (0.261 AC.)
- OWNER: JORDAN KNOX
DEED REFERENCE: LIBER 10170 FOLIO 456
DATE: MARCH 19, 2021
GRANTOR: CRAIG ROGER BARE
- TAX MAP REFERENCE: TAX MAP 107 / GRID 16 / PARCEL 1829
- THE BOUNDARY AND TOPOGRAPHIC SURVEY FOR THIS PLAT WAS COMPLETED IN MAY 2022, BY BPR, LLC - WESTMINSTER, MD.
- THE VERTICAL DATUM IN NAVD 88.
- THE HORIZONTAL DATUM IN NAD 83/11 MD STATE PLANE AND IS BASED ON A STATIC GPS MISSION CONDUCTED BY BPR, LLC, IN DECEMBER OF 2021.

SITE DEVELOPMENT PLAN FOR KNOX PROPERTY

APARTMENT BUILDING
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP -107 GRID - 16 PARCEL - 1829
CC FILE #: S-22-0034

LIST OF DRAWINGS

- TITLE SHEET
- DEMOLITION & SITE LAYOUT PLAN, NOTES & DETAILS
- CONSTRUCTION DETAILS
- GRADING & RETAINING WALL PLAN, NOTES & DETAILS
- STORMWATER MANAGEMENT ESD MAPPING PLAN
- STORMWATER MANAGEMENT ESD PLAN, NOTES & DETAILS
- LANDSCAPE PLAN, NOTES & DETAILS
- BUILDING ELEVATIONS



VICINITY MAP
SCALE: 1inch = 2000 feet
MARYLAND STATE HIGHWAY ADMINISTRATION
GIS DEPARTMENT

SITE DATA

- PROPOSED USE: APARTMENTS (4 2-BEDROOM UNITS)
- BUILDING HEIGHT: 31 FT.
- SIGNAGE: NO PROPOSED SIGNAGE
- LIGHTING: NO PROPOSED LIGHTING.
- SOILS: SPOOLSVILLE-URBAN LAND COMPLEX (SpB) - 0 TO 8 PERCENT SLOPES - HYDROLOGIC SOIL GROUP B

FIRE PROTECTION:
THE NEW BUILDING WILL BE SPRINKLERED. THE EXISTING PUBLIC FIRE HYDRANT LOCATED AT THE INTERSECTION OF BISHOP ST. AND EAST MAIN STREET WILL BE USED TO BE IN COMPLIANCE WITH THE FOLLOWING FIRE PROTECTION REQUIREMENTS:
A. PROVIDE A 333 FT RADIUS OF COVERAGE FOR THE ENTIRE BUILDING FOOTPRINT
B. PROVIDE A MAXIMUM 100' DISTANCE TO THE FIRE DEPARTMENT CONNECTION

PUBLIC WATER & SEWAGE SERVICE:
THIS SITE IS SERVED BY THE CITY OF WESTMINSTER PUBLIC WATER & SANITARY SEWER SYSTEMS. EXISTING PUBLIC WATER & SEWER SERVICES.

STORMWATER MANAGEMENT (SWM):
THIS PROJECT IS IN COMPLIANCE WITH CHAPTER 136-10 OF THE CITY OF WESTMINSTER CITY SWM CODE. ESD TO THE MEP HAS BEEN ACHIEVED ENTIRELY BY THE IMPLEMENTATION OF MICRO-SCALE ESD PRACTICES, AND THE CITY HAS DETERMINED THAT THERE IS NO HISTORICAL FLOODING PROBLEMS OR UNCONTROLLED DEVELOPMENT OCCURRING DOWNSTREAM OF THIS PROJECT.

SEDIMENT & EROSION CONTROL:
THIS PROJECT IS IN COMPLIANCE WITH CHAPTER 152 OF THE CARROLL COUNTY GRADING AND SEDIMENT CONTROL CODE, UNDER SECTION 152.005 FOR PROJECTS WHICH DISTURB BETWEEN 5,000 TO 30,000 SF. THE PROJECT WILL MEET THE SEDIMENT CONTROL REQUIREMENTS OF THE COUNTY'S "STANDARD SEDIMENT AND EROSION CONTROL PLAN" AS DIRECTED BY THE GRADING PERMIT. A DESIGNATED SEDIMENT CONTROL PLAN IS NOT REQUIRED.

WATER RESOURCE PROTECTION:
DESIGNATED WATER RESOURCE PROTECTION AREA(S): THIS SITE LIES WITHIN AN AQUIFER PROTECTION AREA. THIS SITE IS NOT WITHIN A WELLHEAD PROTECTION AREA, OR NEAR ANY EXISTING OR POTENTIAL MUNICIPAL WELL SITES OR WELL SITE BUFFERS.
TOXIC SUBSTANCES: THE DEVELOPMENT SHOWN BY THIS PLAN DOES NOT INVOLVE THE STORAGE, USE, SALE OR MAINTENANCE OF ANY REGULATED SUBSTANCES, AND NO SUCH ACTIVITIES ARE INTENDED FOR THIS PROPERTY. REGULATED SUBSTANCES ARE PROHIBITED.

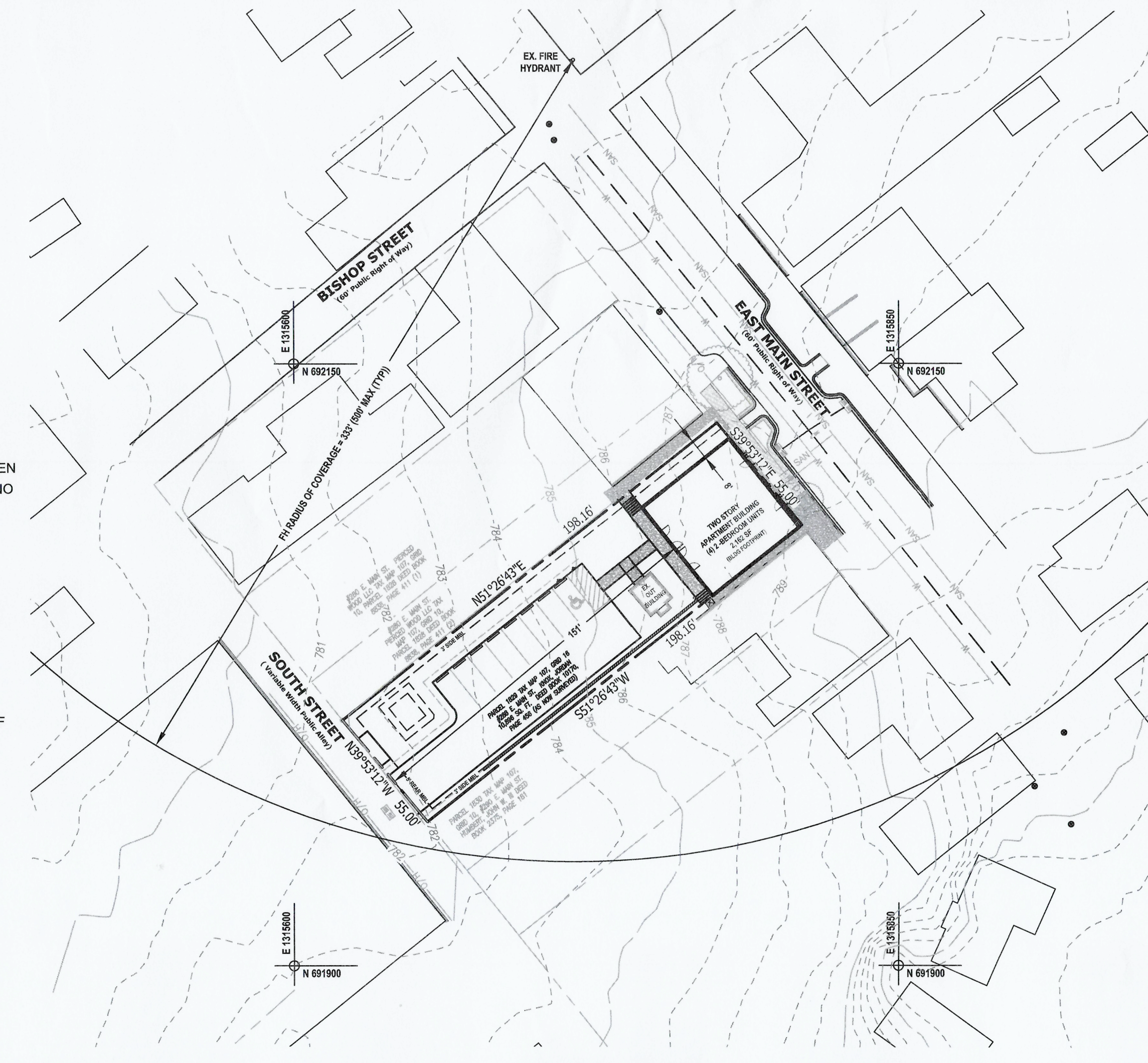
TRAFFIC CONTROL PLAN:
CONTRACTOR SHALL SUBMIT A VEHICLE & PEDESTRIAN TRAFFIC CONTROL PLAN TO THE CITY OF WESTMINSTER FOR APPROVAL PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RW.

GARBAGE COLLECTION: 4 -55 GALLON PLASTIC TOTE DUMPSTERS HAND PULLED TO THE CURB.

PARKING TABULATION:
REQUIREMENTS FOR APARTMENT BUILDING:
2 SPACE FOR EACH 2-BEDROOM APARTMENT
PROVIDED:
TOTAL SPACES PROVIDED: 8 SPACES
ADA SPACES PROVIDED: 1 SPACE (VAN ACCESSIBLE)

WATER ALLOCATION NOTE:

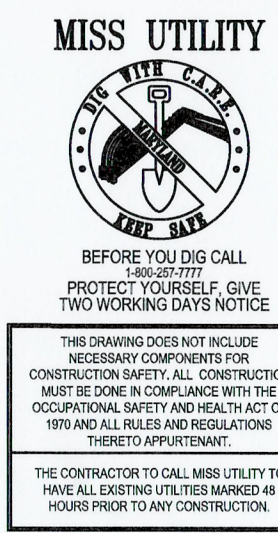
WATER ALLOCATION: PURSUANT TO THE WATER AND SEWER ALLOCATION APPLICATION WSA-_____, THE EXISTING WATER ENVELOPE FOR 288 E. MAIN STREET IS _____ GPD. AN ADDITIONAL WATER ALLOCATION OF _____ GPD IS REQUESTED FOR 288 E. MAIN STREET. THEREFORE, THE TOTAL WATER ALLOCATION FOR 288 E. MAIN STREET IS _____ GPD. NO ADDITIONAL WATER ALLOCATION IS REQUESTED OR PROVIDED FOR 96 W. MAIN STREET.



SITE MAP

SCALE: 1"=40'

BENCH MARK
SHA Manhole (#41109)
Elevation = 788.12'
N 692122.745 E 1315813.336



WATER DEMAND & METER INFORMATION

- ESTIMATED WATER USAGE
- SIZE: INTERNAL WATER METER
- SIZE OF SPRINKLER CONNECTION
- NUMBER OF PRIVATE FIRE HYDRANTS

*NOTE: WATER METER WILL BE INSTALLED INTERNALLY, WITH EXTERIOR READER.

EXISTING		LEGEND		PROPOSED	
---	PROPERTY LINE SUBJECT	---	EDGE OF PAVEMENT	---	PROPERTY LINE SUBJECT
---	PROPERTY LINE ADJOINER	---	DENOTES CONTOURS	---	PROPERTY LINE ADJOINER
---	DENOTES EDGE OF ROAD	---	DENOTES SUPER SILT FENCE	---	DENOTES EDGE OF ROAD
---	DENOTES CURB	---	DENOTES SILT FENCE	---	DENOTES CURB
---	CENTER LINE ROAD	---	LIMITS OF DISTURBANCE	---	CENTER LINE ROAD
---	DENOTES BUILDING	---	OVERHEAD UTILITIES	---	DENOTES BUILDING
---	DENOTES WATER LINE	---	GUARD RAIL CONCRETE	---	DENOTES WATER LINE
---	SANITARY SEWER LINE	---	WATER VALVE	---	SANITARY SEWER LINE
⊙	STORMDRAIN MANHOLE	⊙	PAVEMENT (DRIVEWAYS / ROADS)	⊙	STORMDRAIN MANHOLE
⊙	SANITARY SEWER MANHOLE	⊙	WATER VALVE	⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER CLEAN OUT	⊙	WATER METER	⊙	SANITARY SEWER CLEAN OUT
♿	HANDICAP PARKING	♿	FIRE HYDRANT	♿	HANDICAP PARKING

ENGINEERS CERTIFICATION
I hereby certify that these construction drawings and associated computations were prepared by me or under my supervision and comply with all applicable standards and regulations of the City of Westminister. I have reviewed these documents with the Owner/Developer.
NAME (PRINTED) _____ DATE _____
MD REGISTRATION NUMBER: _____ EXPIRATION DATE: _____
SIGNATURE _____ DATE _____

OWNER / DEVELOPER CERTIFICATION
I/We hereby certify that all proposed work shown on these construction drawing(s) has been reviewed by me/us and that I/We fully understand what is necessary to accomplish this work and that the work will be conducted in strict accordance with these plans. I/We also understand that any changes to these plans will require an amended plan to be reviewed and approved by the City of Westminister Planning and Zoning Commission before any change in the work is made.
Name(s) (Printed) Jordan Knox Date 8/10/23
Signed [Signature] Date 8/10/23

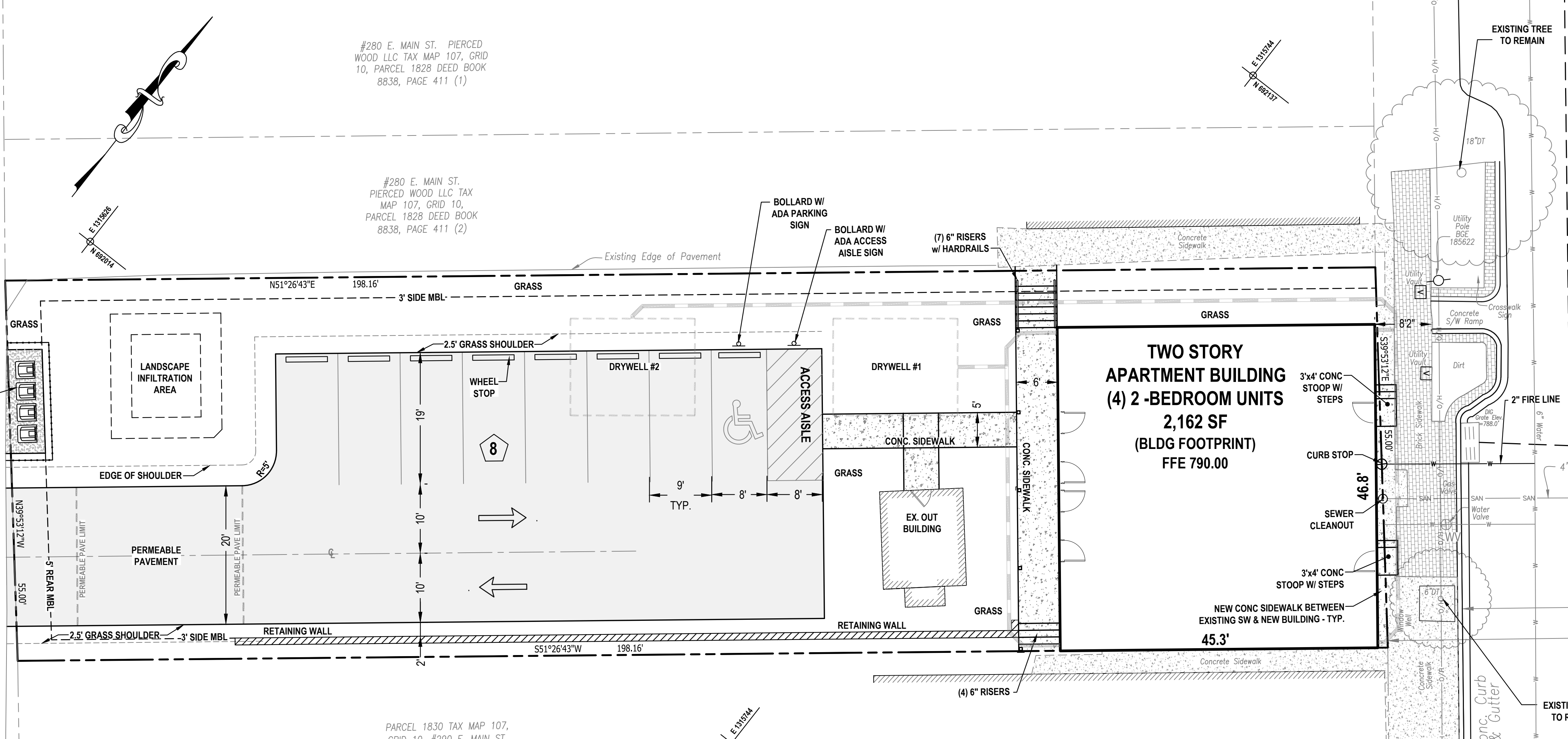
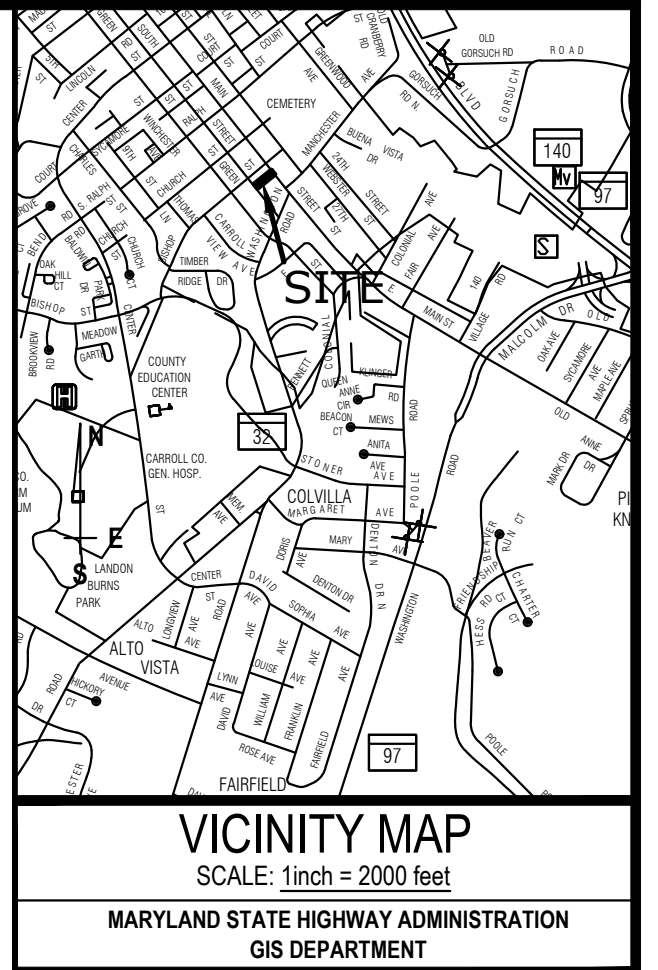
OWNER / DEVELOPER
JORDAN KNOX
PO BOX 317
TANEYTOWN, MD 21787
443-340-9927

CITY OF WESTMINSTER, PLANNING AND ZONING COMMISSION		
APPROVED: _____	DATE: _____	
CITY OF WESTMINSTER, DIRECTOR OF COMMUNITY PLANNING AND DEVELOPMENT		
APPROVED: _____	DATE: _____	
CITY OF WESTMINSTER, DIRECTOR OF PUBLIC WORKS		
APPROVED: _____	DATE: _____	
CARROLL COUNTY HEALTH DEPARTMENT APPROVAL		
BY: _____	DATE: _____	
Community Water and/or Sewerage Systems are in Conformance with the Carroll County Master Plan for Water and Sewer		

DATE	REVISION	BY
TITLE SHEET		
KNOX PROPERTY		
288 E. MAIN APARTMENTS- WESTMINSTER, MD 21157		
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND		
TAX MAP - 107 GRID - 16 PARCEL - 1829		
Surveyed By	Drawn By	
BPR	MJM	
Computed By	Checked By	
BPR	BPR	
Date:	AUGUST 14, 2023	
Sheet:	1 OF 8	
Scale:	1" = 30'	
BPR Drawing No.:	21-0812	
CC FILE #: S-22-0034		
BPR LLC		
SURVEYORS - LAND PLANNERS		
150 AIRPORT DRIVE - SUITE 4 WESTMINSTER, MARYLAND 21157 PHONE: (410)-857-9030 OR (410)-876-0333 FAX: (410)-876-1532 WWW.BPRSURVEYING.COM		

SOUTH STREET
(Variable Width Public Alley)

EAST MAIN STREET
(60' Public Right of Way)



SITE LAYOUT PLAN
SCALE: 1"=10'

UTILITY NOTES

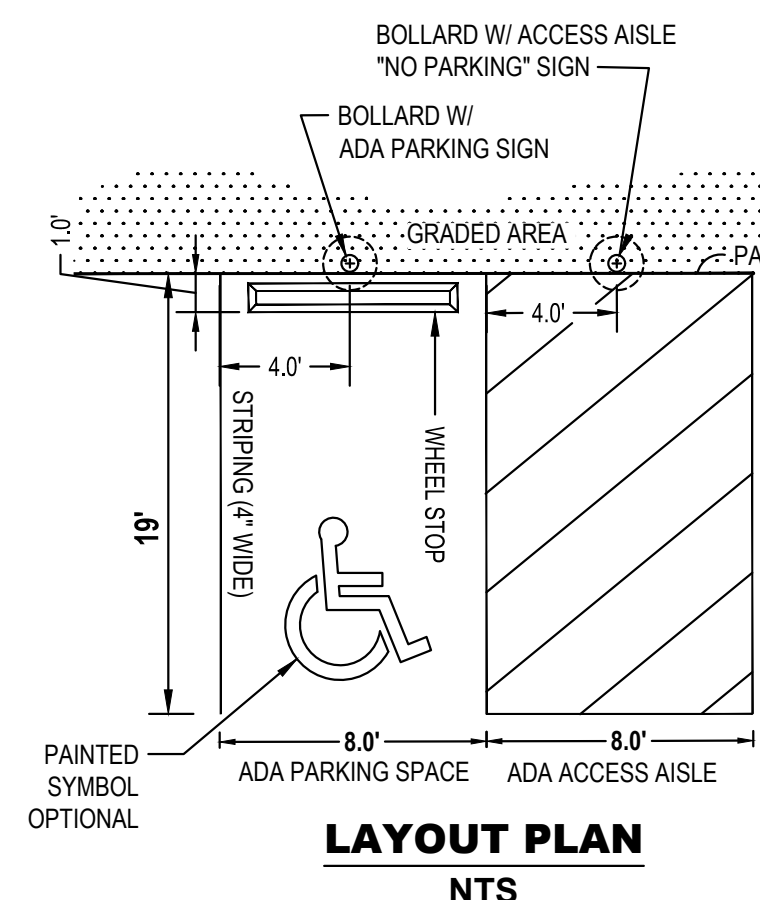
- THE WATER, SANITARY SEWER AND DOWNSPOUT COLLECTOR PIPE WORK SHOWN IN THE FRONT OF THE APARTMENT BUILDING WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WESTMINSTER'S STANDARDS & SPECIFICATIONS. EXISTING ITEMS THAT MUST BE DISTURBED OR REMOVED AS A RESULT OF THE CONTRACTOR'S NORMAL OPERATIONS, INCLUDING CONCRETE OR BRICK SIDEWALK, CURBING, ROADWAY PAVEMENT, ETC., SHOULD BE RESET OR REPLACED IN-KIND AND INSTALLED BACK TO THE EXISTING LINE & GRADE, OR AS DIRECTED BY THE CITY INSPECTOR IN THE FIELD.

DEMOLITION NOTES

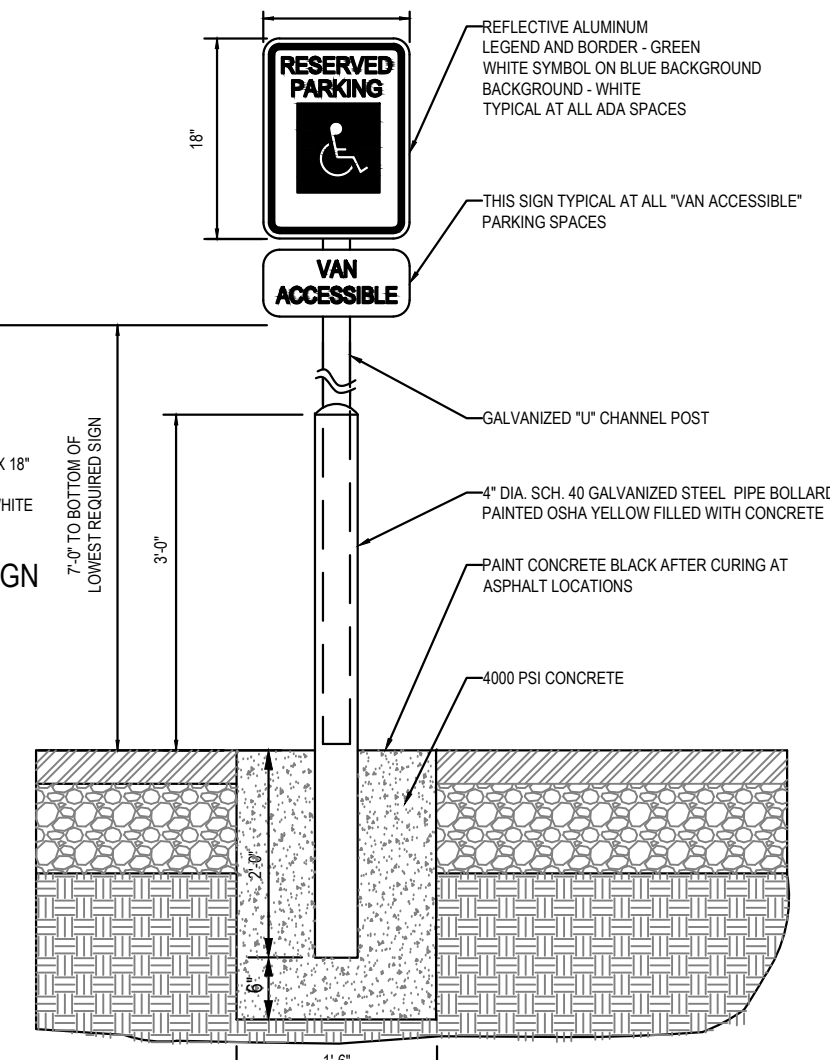
- DEMOLISH AND REMOVE EXISTING APARTMENT BUILDING.
- EXISTING HISTORICAL OUT BUILDING TO REMAIN.
- REMOVE & DISPOSE OF ON-SITE SIDEWALK. REMOVE FULL DEPTH BASE & SUBBASE MATERIAL DOWN TO SUBGRADE SOILS IN AREAS DESIGNATED FOR PERMANENT GRASS OR LANDSCAPE PLANTING.
- ABANDON EXISTING WATER SERVICE. CLOSE CURB STOP VALVE AND REMOVE WATER METER AND BOX. REMOVE CURB BOX AND ENCASE CURB STOP VALVE IN CONCRETE. REMOVE WATER SERVICE LINE BEYOND THE LIMITS OF THE NEW BUILDING FOOTPRINT AND ABANDON THE REMAINDER OF THE LINE IN PLACE. SEE UTILITY NOTES, THIS PAGE.
- EXISTING SANITARY SEWER SERVICE TO REMAIN. DISCONNECT AND REMOVE A PORTION OF EX SEWER SERVICE LINE AWAY FROM CLEANOUT AND WITHIN THE LIMITS OF THE NEW BUILDING FOOTPRINT. MAINTAIN THE REMAINDER OF THE LINE IN PLACE. SEE UTILITY NOTES, THIS PAGE.

TEMPORARY TRAFFIC CONTROL CONSTRUCTION FENCE ADJUSTMENTS WHEN WORKING WITHIN PUBLIC RIGHTS-OF-WAY

THE CONTRACTOR WILL BE ALLOWED TO ADJUST THE POSITION OF THE CONSTRUCTION FENCE TO ALLOW MORE ROOM DURING HIS PUBLIC CURB & SIDEWALK RECONSTRUCTION OPERATIONS. A PLAN SHOWING THE DESIRED FENCE ADJUSTMENTS, ANY TEMPORARY SIGNAGE, AND A STATEMENT GIVING THE EXPECTED START & ENDING DATES FOR THE WORK SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO COMMENCING THE WORK. IN ANY CASE, THE FENCE SHALL NOT EXTEND INTO THE ROADWAY MORE THAN 6 FT FROM THE CURB.



- ADA CONSTRUCTION NOTES:**
- PROVIDE "ACCESSIBLE" AND "VAN ACCESSIBLE" HANDICAP PARKING WITH AN ACCESSIBLE ROUTE TO THE MAIN ENTRANCE. HANDICAP PARKING AND ALL ACCESS AISLES MUST MAINTAIN A MAXIMUM 2% SLOPE THROUGHOUT. ACCESSIBLE ROUTES MUST MAINTAIN A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM RUNNING SLOPE OF 5%.
 - ALL "ACCESSIBLE" AND "VAN ACCESSIBLE" PARKING SHALL HAVE PROPER SIGNAGE. SIGNS SHALL BEAR THE INTERNATIONAL SYMBOL OF ACCESS AND THE WORDS "RESERVED PARKING" "VAN ACCESSIBLE". EACH "VAN ACCESSIBLE" ACCESS AISLE SIGN SHALL BE IDENTIFIED WITH A SUPPLEMENTAL "NO PARKING" SIGN. ALL SIGNS SHALL CONFORM WITH THE REQUIREMENTS FOR UNIFORM TRAFFIC CONTROL DEVICES UNDER TRANSPORTATION ARTICLE 25-104, ANNOTATED CODE OF MARYLAND.



NOTE: ALL SIGNS SHALL CONFORM WITH THE REQUIREMENTS FOR UBI FROM TRAFFIC CONTROL DEVICES UNDER TRANSPORTATION ARTICLE 25-104, ANNOTATED CODE OF MARYLAND.

ADA PARKING DETAILS

NTS

BOLLARD MOUNTED ADA PARKING SIGNS

NTS

SITE DEMOLITION PLAN
SCALE: 1"=20'

EXISTING		LEGEND		PROPOSED	
---	PROPERTY LINE SUBJECT	---	EDGE OF PAVEMENT	---	PROPERTY LINE SUBJECT
---	PROPERTY LINE ADJOINER	---	DENOTES CONTOURS	---	PROPERTY LINE ADJOINER
---	DENOTES EDGE OF ROAD	---	DENOTES SUPER SILT FENCE	---	DENOTES EDGE OF ROAD
---	DENOTES CURB	---	DENOTES SILT FENCE	---	DENOTES CURB
---	CENTER LINE ROAD	---	LIMITS OF DISTURBANCE	---	CENTER LINE ROAD
---	DENOTES BUILDING	---	OVERHEAD UTILITIES	---	DENOTES BUILDING
---	DENOTES WATER LINE	---	GUARD RAIL	---	DENOTES WATER LINE
---	SANITARY SEWER LINE	---	CONCRETE	---	SANITARY SEWER LINE
---	STORMDRAIN MANHOLE	---	PAVEMENT (DRIVEWAYS / ROADS)	---	STORMDRAIN MANHOLE
---	SANITARY SEWER MANHOLE	---	WATER VALVE	---	SANITARY SEWER MANHOLE
---	SANITARY SEWER CLEAN OUT	---	WATER METER	---	SANITARY SEWER CLEAN OUT
---	HANDICAP PARKING	---	FIRE HYDRANT	---	HANDICAP PARKING

DATE	REVISION	BY

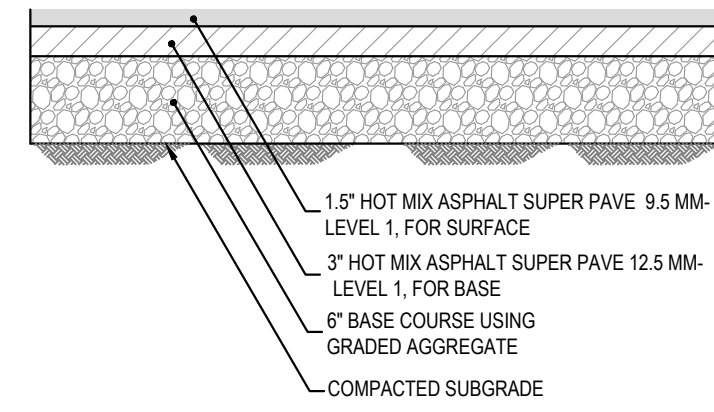
DEMOLITION & SITE LAYOUT PLAN, NOTES & DETAILS
KNOX PROPERTY
288 E. MAIN APARTMENTS- WESTMINSTER, MD 21157

7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP - 107 GRID - 16 PARCEL - 1829

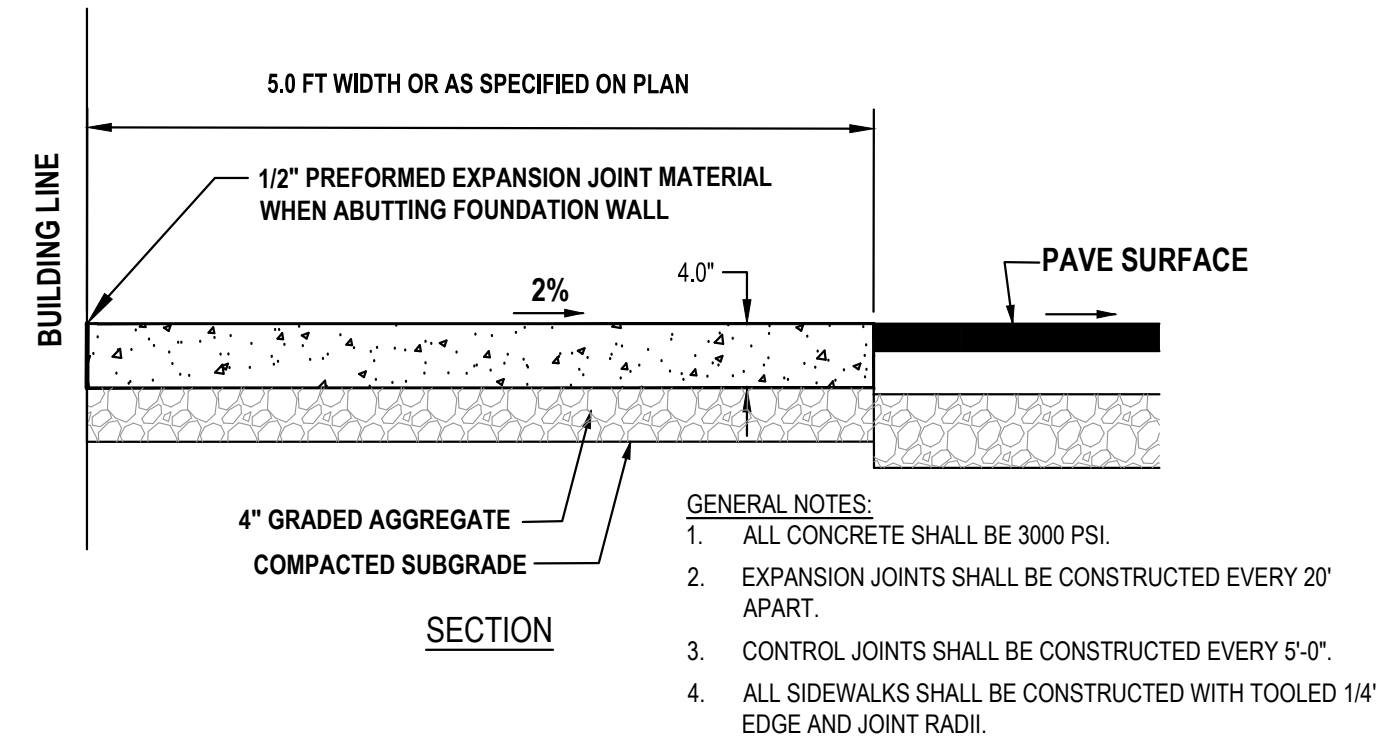
OWNER / DEVELOPER	Surveyed By	Drawn By
JORDAN KNOX PO BOX 317 TANEYTOWN, MD 21787 443-340-9927	BPR	MJM
	Computed By	Checked By
	BPR	BPR
	Date:	AUGUST 14, 2023
Sheet:	2 OF 8	
Scale:	AS SHOWN	
BPR Drawing No.:	21-0812	

CC FILE # : S-22-0034

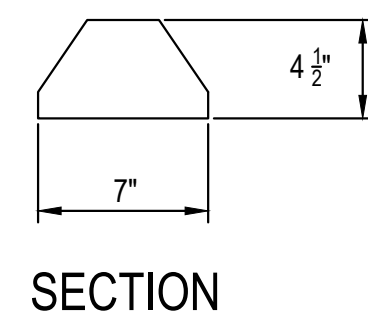
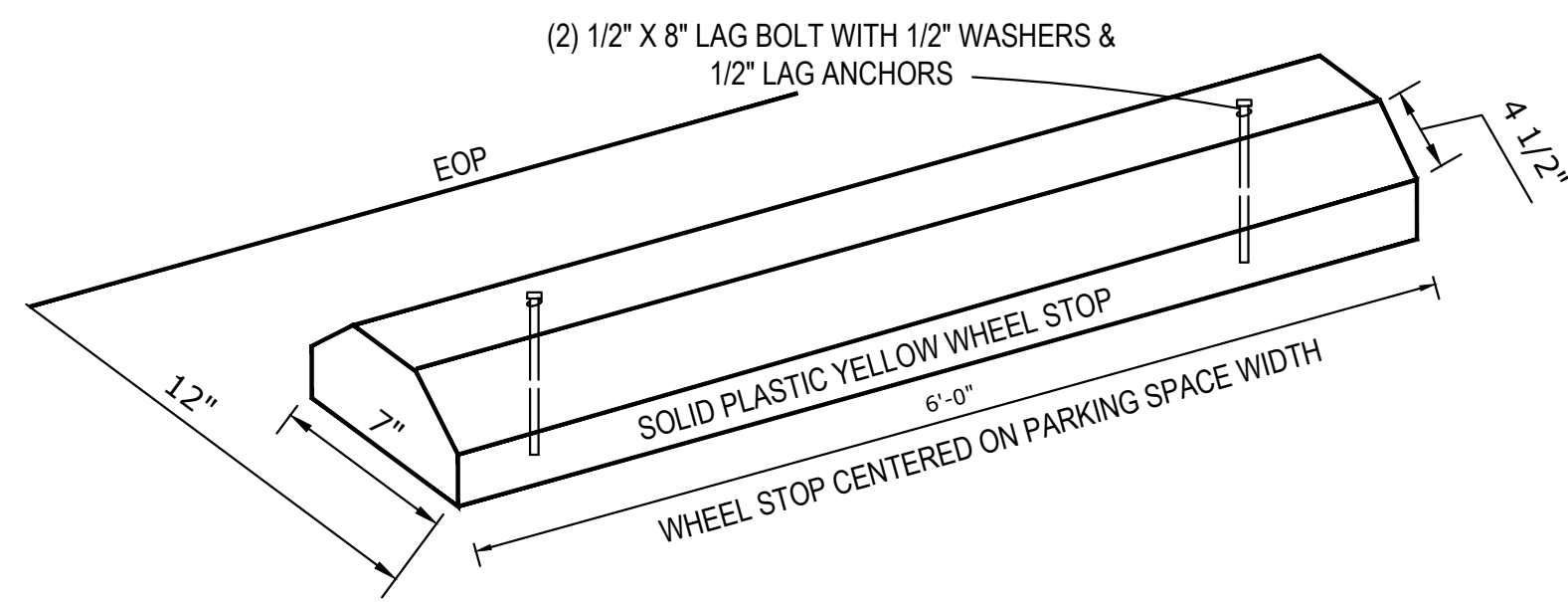
BPR LLC
SURVEYORS - LAND PLANNERS
150 AIRPORT DRIVE - SUITE 4
WESTMINSTER, MARYLAND 21157
PHONE: (410)-857-9030
OR (410)-876-0333
FAX: (410)-876-1532
WWW.BPRSURVEYING.COM



FULL DEPTH PAVING SECTION
N.T.S.



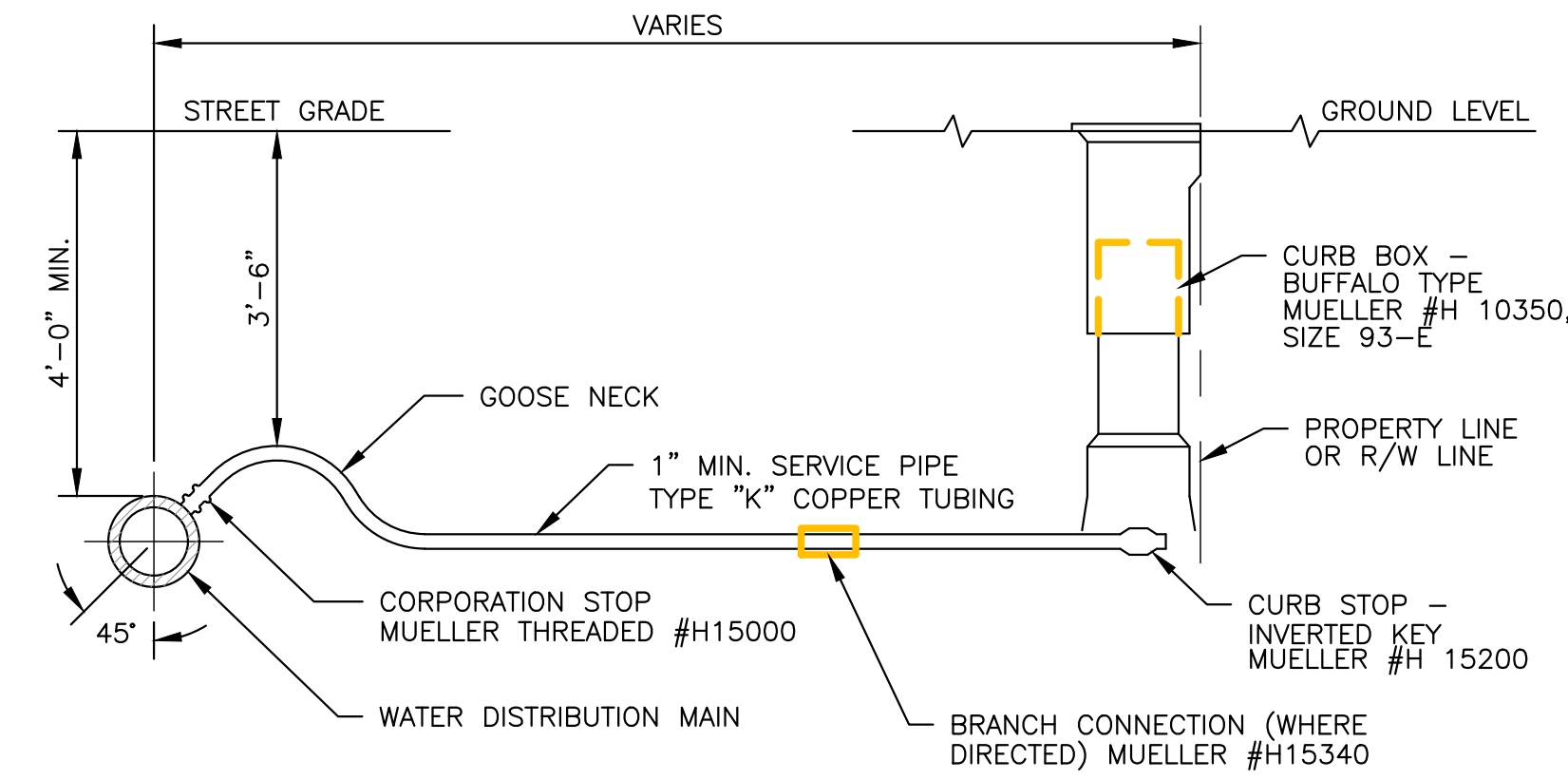
4\"/>



POLYMER WHEEL STOP
N.T.S.

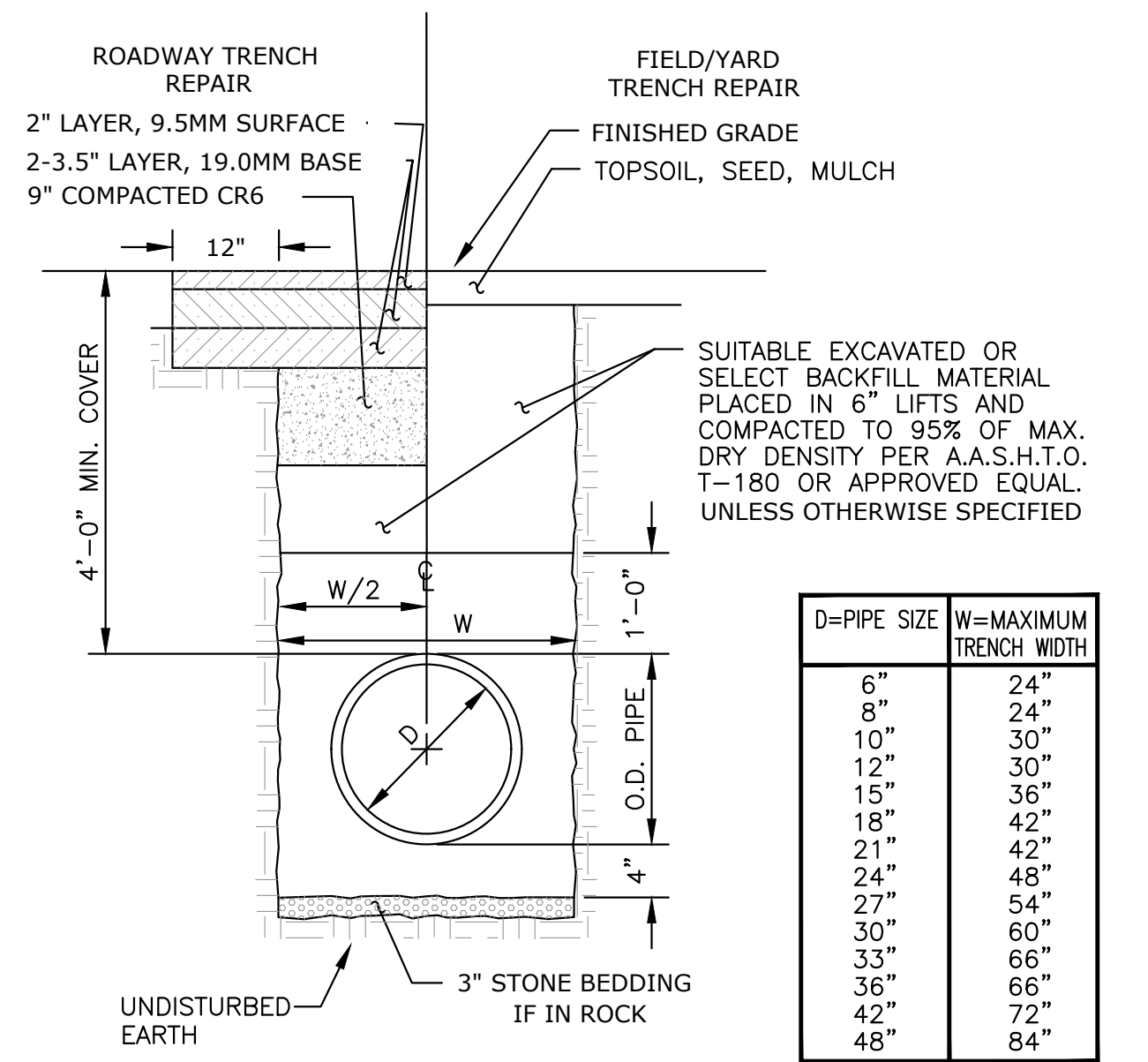
ON-SITE PRIVATE CONSTRUCTION

- NOTES:
 1.) POLYMER WHEEL STOP SHALL BE INNOPLAST, MODEL #PBD6 (8'-0"X4'-1/2"X7", YELLOW SOLID PLASTIC) AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2.) REFER TO PLAN SET FOR LOCATIONS OF PROPOSED WHEEL STOPS.
 3.) WHEEL STOPS SHALL BE YELLOW SO AS TO CONTRAST WITH PAVEMENT SURFACE.



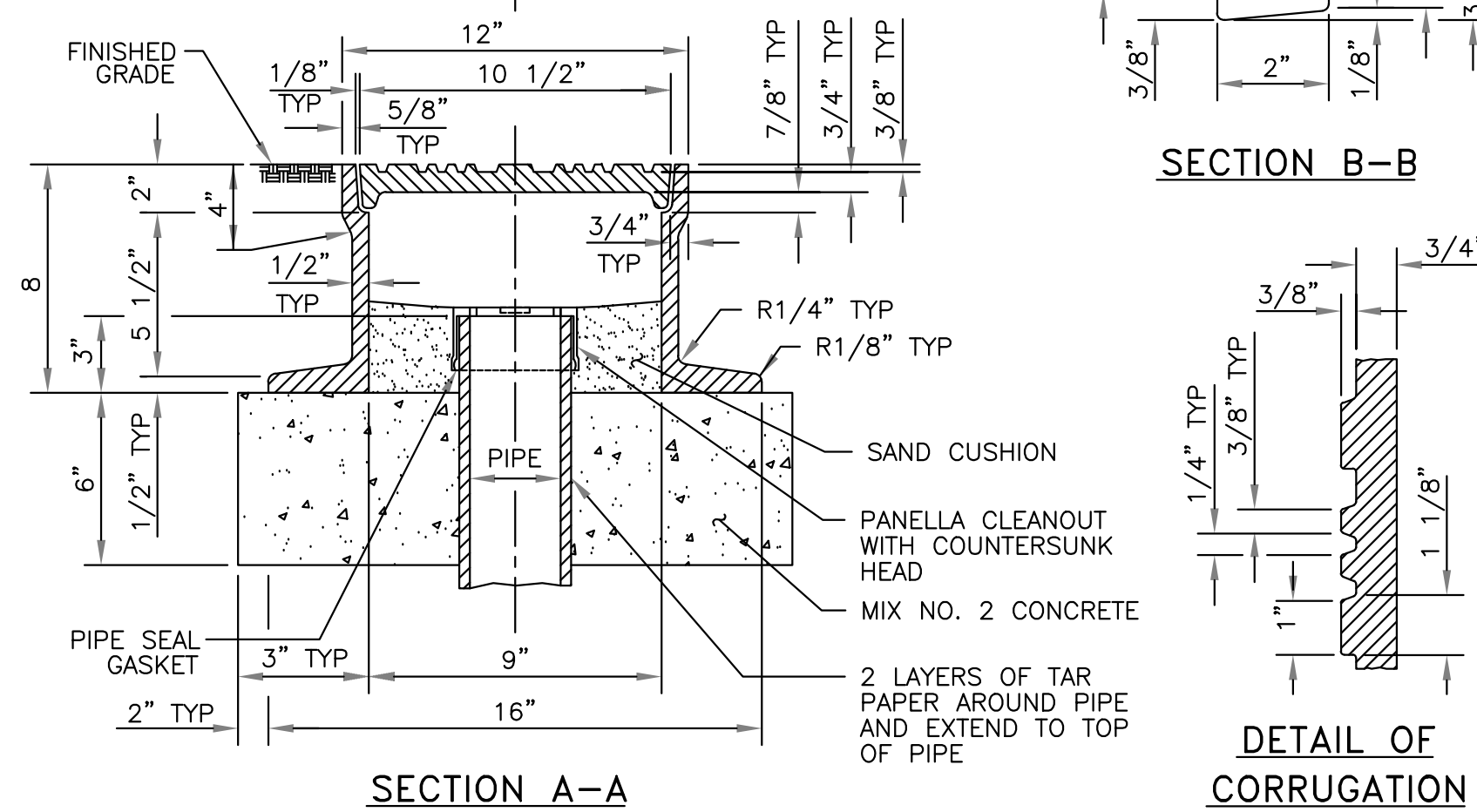
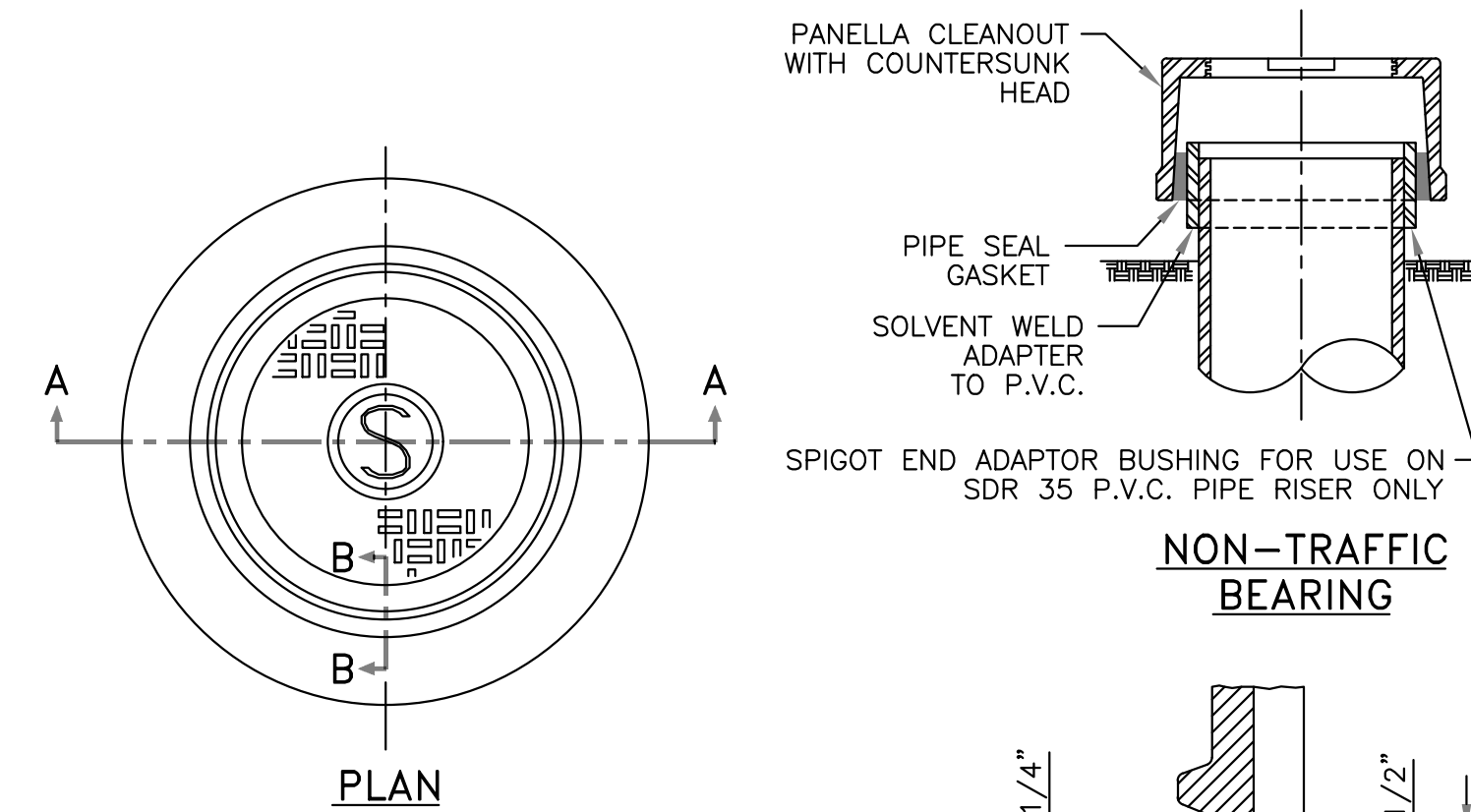
- 1) WHC IN USE-IN-COMMON DRIVEWAYS OR PUBLIC ROADS SHALL HAVE ROADWAY BOXES INSTEAD OF CURB BOXES OR CURB STOPS
 2) IF THE MUELLER MANUFACTURER CATALOG NUMBER FOR THE WATER SERVICE FITTINGS SHOWN ON THESE TYPICAL DETAILS ARE NOT AVAILABLE FOR LARGER DIAMETER CONNECTIONS, THE CONTRACTOR SHALL INSTALL AN APPROVED EQUAL TYPE FOR THE SIZE SPECIFIED IN THE PLANS OR SPECIFICATIONS.

STANDARD CONNECTION
WATER HOUSE CONNECTION (WHC) FOR FIRE LINE



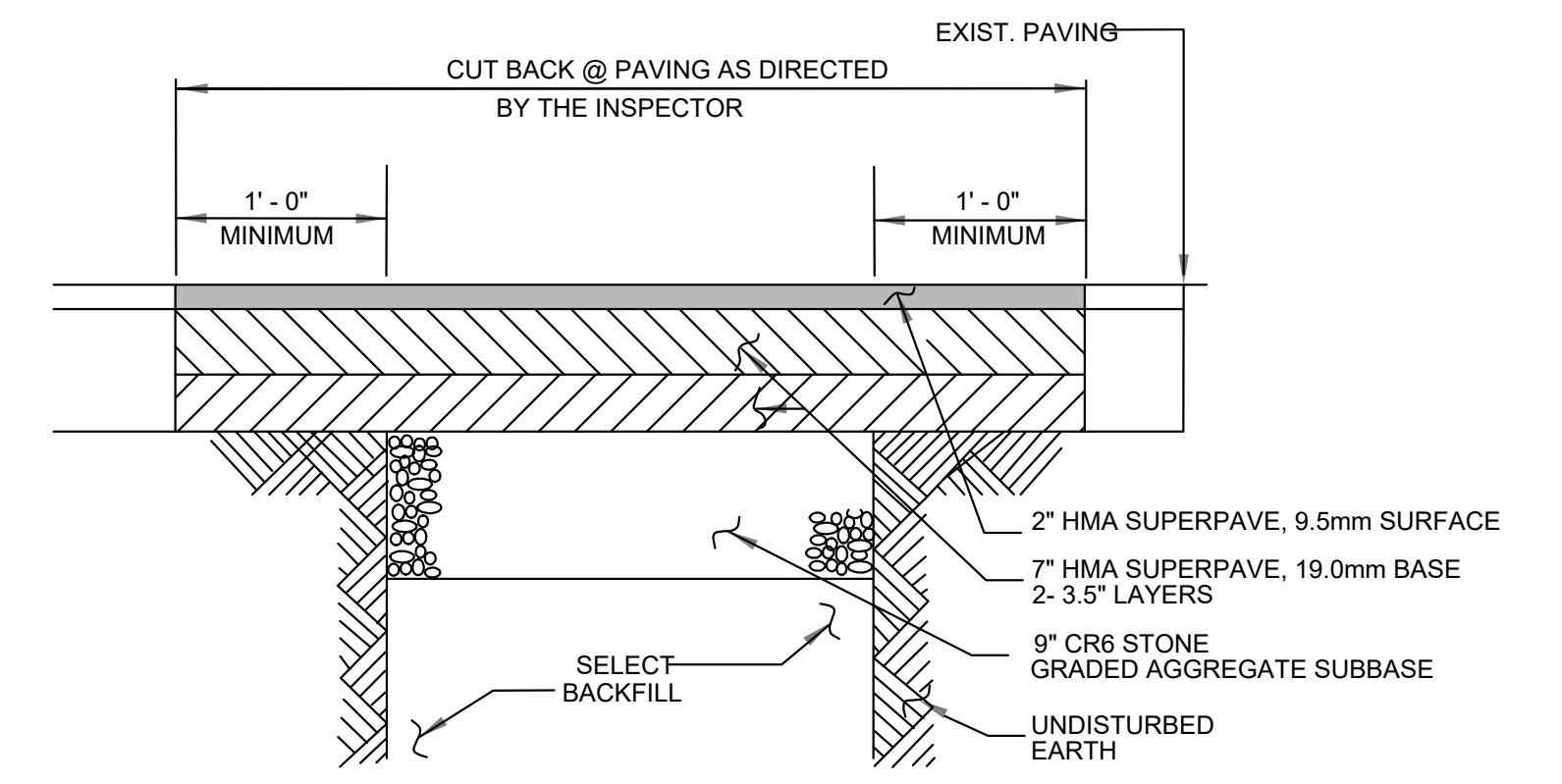
D=PIPE SIZE	W=MAXIMUM TRENCH WIDTH
6"	24"
8"	24"
10"	30"
12"	30"
15"	36"
18"	42"
21"	42"
24"	48"
27"	54"
30"	60"
33"	66"
36"	66"
42"	72"
48"	84"

WATER TRENCH DETAIL



TRAFFIC BEARING CLEANOUT COVER ASSEMBLY
SEWER HOUSE CONNECTION (SHC)

STANDARD CITY OF WESTMINSTER (PUBLIC R/W)
N.T.S.

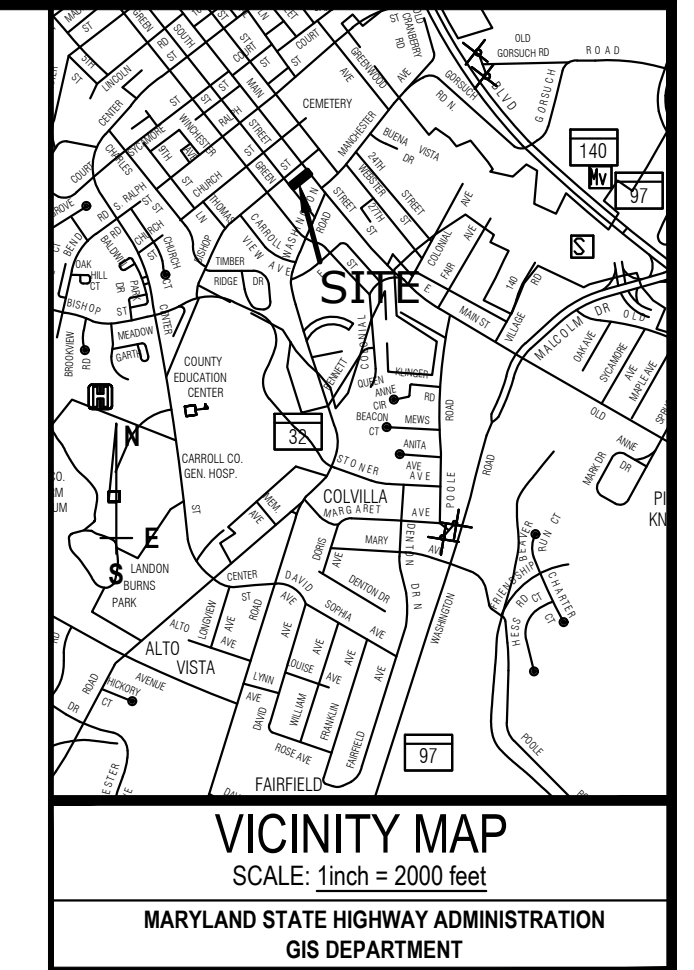


STANDARD CITY OF WESTMINSTER (PUBLIC R/W)
PAVEMENT PATCH
N.T.S.

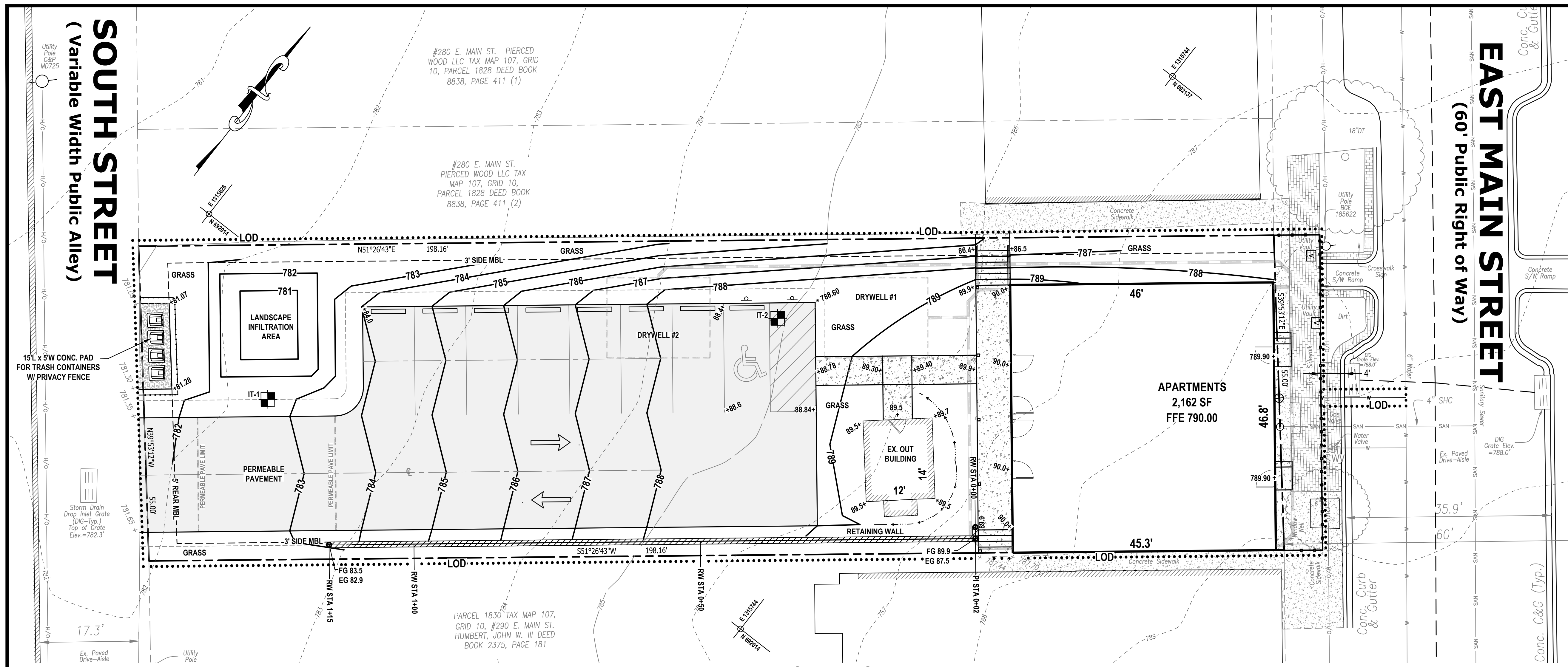
DATE	REVISION	BY
CONSTRUCTION DETAILS		
KNOX PROPERTY		
288 E. MAIN APARTMENTS- WESTMINSTER, MD 21157		
7th ELECTION DISTRICT		CARROLL COUNTY, MARYLAND
TAX MAP - 107		GRID - 16 PARCEL - 1829
OWNER / DEVELOPER	Surveyed By	Drawn By
JORDAN KNOX PO BOX 317 TANEYTOWN, MD 21187 443-340-9927	BPR	MJM
	Computed By	Checked By
	BPR	BPR
	Date:	AUGUST 14, 2023
Sheet:	3 OF 8	
Scale:	AS SHOWN	
BPR Drawing No.:	21-0812	
CC FILE # : S-22-0034		
BPR LLC		
SURVEYORS - LAND PLANNERS		
150 AIRPORT DRIVE - SUITE 4 WESTMINSTER, MARYLAND 21157 PHONE: (410)-857-9030 OR (410)-876-0333 FAX: (410)-876-1532 WWW.BPRSURVEYING.COM		

SOUTH STREET
(Variable Width Public Alley)

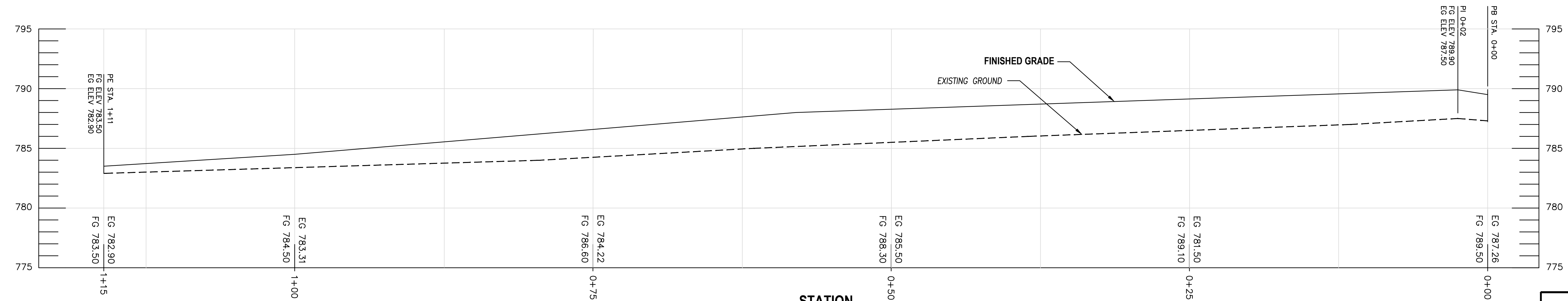
EAST MAIN STREET
(60' Public Right of Way)



VICINITY MAP
SCALE: 1inch = 2000 feet
MARYLAND STATE HIGHWAY ADMINISTRATION
GIS DEPARTMENT

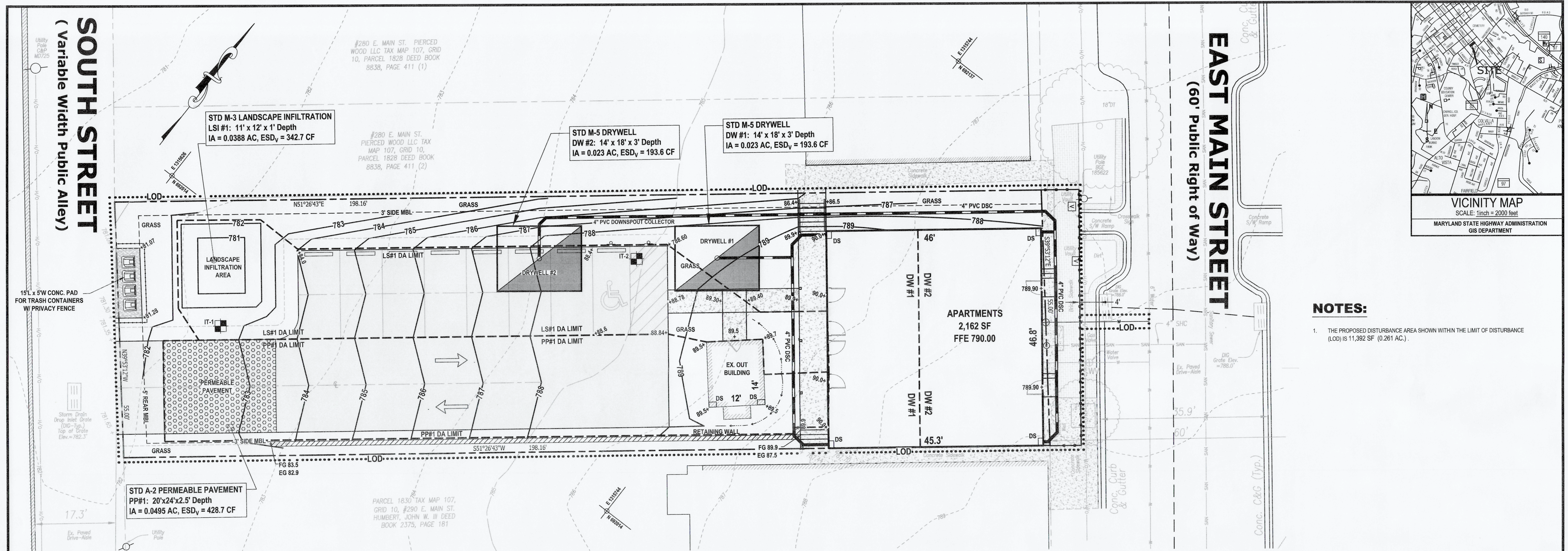


- NOTES:**
- THE PROPOSED DISTURBANCE AREA SHOWN WITHIN THE LIMIT OF DISTURBANCE (LOD) IS 11,392 SF (0.261 AC.).



EXISTING		LEGEND		PROPOSED	
---	PROPERTY LINE SUBJECT	---	EDGE OF PAVEMENT	---	PROPERTY LINE SUBJECT
---	PROPERTY LINE ADJOINER	---	DENOTES CONTOURS	---	PROPERTY LINE ADJOINER
---	DENOTES EDGE OF ROAD	---	DENOTES SUPER SILT FENCE	---	DENOTES EDGE OF ROAD
---	DENOTES CURB	---	DENOTES SILT FENCE	---	DENOTES CURB
---	CENTER LINE ROAD	---	LIMITS OF DISTURBANCE	---	CENTER LINE ROAD
---	DENOTES BUILDING	---	OVERHEAD UTILITIES	---	DENOTES BUILDING
---	DENOTES WATER LINE	---	GUARD RAIL	---	DENOTES WATER LINE
---	SANITARY SEWER LINE	---	CONCRETE	---	SANITARY SEWER LINE
⊙	STORMDRAIN MANHOLE	---	PAVEMENT (DRIVEWAYS / ROADS)	⊙	STORMDRAIN MANHOLE
⊙	SANITARY SEWER MANHOLE	---	WATER VALVE	⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER CLEAN OUT	---	WATER METER	⊙	SANITARY SEWER CLEAN OUT
♿	HANDICAP PARKING	---	FIRE HYDRANT	♿	HANDICAP PARKING

DATE	REVISION	BY
GRADING & RETAINING WALL PLAN, NOTES & DETAILS		
KNOX PROPERTY		
288 E. MAIN APARTMENTS- WESTMINSTER, MD 21157		
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND TAX MAP - 107 GRID - 16 PARCEL - 1829		
OWNER / DEVELOPER	Surveyed By	Drawn By
JORDAN KNOX PO BOX 317 TANEYTOWN, MD 21187 413-340-9927	BPR	MJM
	Computed By	Checked By
	BPR	BPR
	Date:	AUGUST 14, 2023
Sheet:	4 OF 8	
Scale:	1" = 10'	
BPR Drawing No.:	21-0812	
CC FILE # : S-22-0034		
BPR LLC		
SURVEYORS - LAND PLANNERS		
150 AIRPORT DRIVE - SUITE 4 WESTMINSTER, MARYLAND 21157 PHONE: (410)-857-9030 OR (410)-876-0333 FAX: (410)-876-1532 WWW.BPRSURVEYING.COM		



ESD PLAN
SCALE: 1"=10'

STORMWATER MANAGEMENT MAINTENANCE AGREEMENT SCHEDULE

- The Stormwater Management Facility/Facilities shown on these plans shall be constructed and maintained by the owner(s).
- Owner/his heirs or assigns shall be responsible for continuing maintenance of the facility/facilities, which shall include such items as mowing, cleaning and removing sediment, trees, shrubs and debris. Requirements and schedules for specific types of facilities and practices as listed on the plans are hereby included. The time period for this continuing maintenance shall be on "as-needed" basis but shall not be delayed longer than thirty (30) days.
- Owner, his heirs or assigns shall be responsible for any structural damages or failure which may occur as a result of negligence, accident or misuse. In the event of structural damage, owner shall be responsible to make the necessary repairs as quickly as possible but in any case within thirty (30) days.
- If after notice by the County to correct a violation requiring maintenance work, satisfactory corrections are not made by the owner(s) within thirty (30) days the County may perform all necessary work to place the facility in proper working condition. The owners of the facility shall be assessed the cost of the work and any penalties. These monies shall be collected from a bond, which the developer is required to post with the County to cover such expenses until "completion of the facility". "Completion of the facility" is construed to mean that all contributory drainage areas are paved or supporting a 2" stand of dense grass and that the Carroll County Bureau of Resource Management has inspected construction and a registered professional engineer has certified that the "As-Built" plans meet the plans and specifications for construction. After "completion of the facility" the moneys may be collected by placing a lien on the property, or by including the costs and penalties on the property tax bill and collecting them as ordinary taxes by the County.
- Owner(s) shall grant right of entry to authorized County personnel for purposes of inspection monitoring and/or repair. Site visits for inspection and/or monitoring shall be conducted only during normal County working hours (8:00a.m. to 5:00p.m. Monday - Friday).
- This agreement including right-of-entry for inspection/maintenance and repair shall be recorded in the Land Records of the County.

ENGINEER'S "AS-BUILT" CERTIFICATION
I/We hereby certify that the facility/facilities shown on this/these plan(s) was constructed as shown on the "As-Built" plans and meets the approved plans and specifications. I also certify that this/these facilities were inspected in accordance with Sections 151.095 and 151.096 of the Code of Public Local Laws and Ordinances of Carroll County & the City of Westminister and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Signed: _____ Date: _____
License No.: MD PE #15820 Expiration Date: 12/02/23

ENGINEER'S DESIGN CERTIFICATION
I hereby certify that these plans have been designed according to Chapter 151 of the Code of Public Local Laws and Ordinances of Carroll County & the City of Westminister and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Signed: _____ Date: _____
License No.: MD PE #15820 Expiration Date: 12/02/23

DEVELOPER'S/LANDOWNER'S CERTIFICATE
I/We hereby certify that all proposed work shown on these construction drawing(s) will be conducted in strict accordance with these plans. I/We also understand that this is my/our responsibility to have the construction supervised and certified, including the submittal of "As-Built" plans certified by a registered Professional Engineer within thirty (30) days of completion of work on the stormwater management facility/facilities will be inspected during construction by a Registered Professional Engineer in accordance with Sections 151.095 and 151.096 of the Code of Public Local Laws and Ordinances of Carroll County & the City of Westminister.

Signed: *[Signature]* Date: 8/10/23

DATE	REVISION	BY
STORMWATER MANAGEMENT ESD MAPPING PLAN		
KNOX PROPERTY		
288 E. MAIN APARTMENTS- WESTMINSTER, MD 21157		
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND TAX MAP - 107 GRID - 16 PARCEL - 1829		

EXISTING		LEGEND		PROPOSED	
---	PROPERTY LINE SUBJECT	---	EDGE OF PAVEMENT	---	PROPERTY LINE SUBJECT
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---	DENOTES CURB	---	DENOTES SILT FENCE	---	DENOTES CURB
---	CENTER LINE ROAD	---	LIMITS OF DISTURBANCE	---	CENTER LINE ROAD
---	DENOTES BUILDING	---	OVERHEAD UTILITIES	---	DENOTES BUILDING
---	DENOTES WATER LINE	---	GUARD RAIL CONCRETE	---	DENOTES WATER LINE
---	SANITARY SEWER LINE	---	PAVEMENT (DRIVEWAYS / ROADS)	---	SANITARY SEWER LINE
⊙	STORMDRAIN MANHOLE	⊙	WATER VALVE	⊙	STORMDRAIN MANHOLE
⊙	SANITARY SEWER MANHOLE	⊙	WATER METER	⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER CLEAN OUT	⊙	FIRE HYDRANT	⊙	SANITARY SEWER CLEAN OUT
♿	HANDICAP PARKING	♿		♿	HANDICAP PARKING

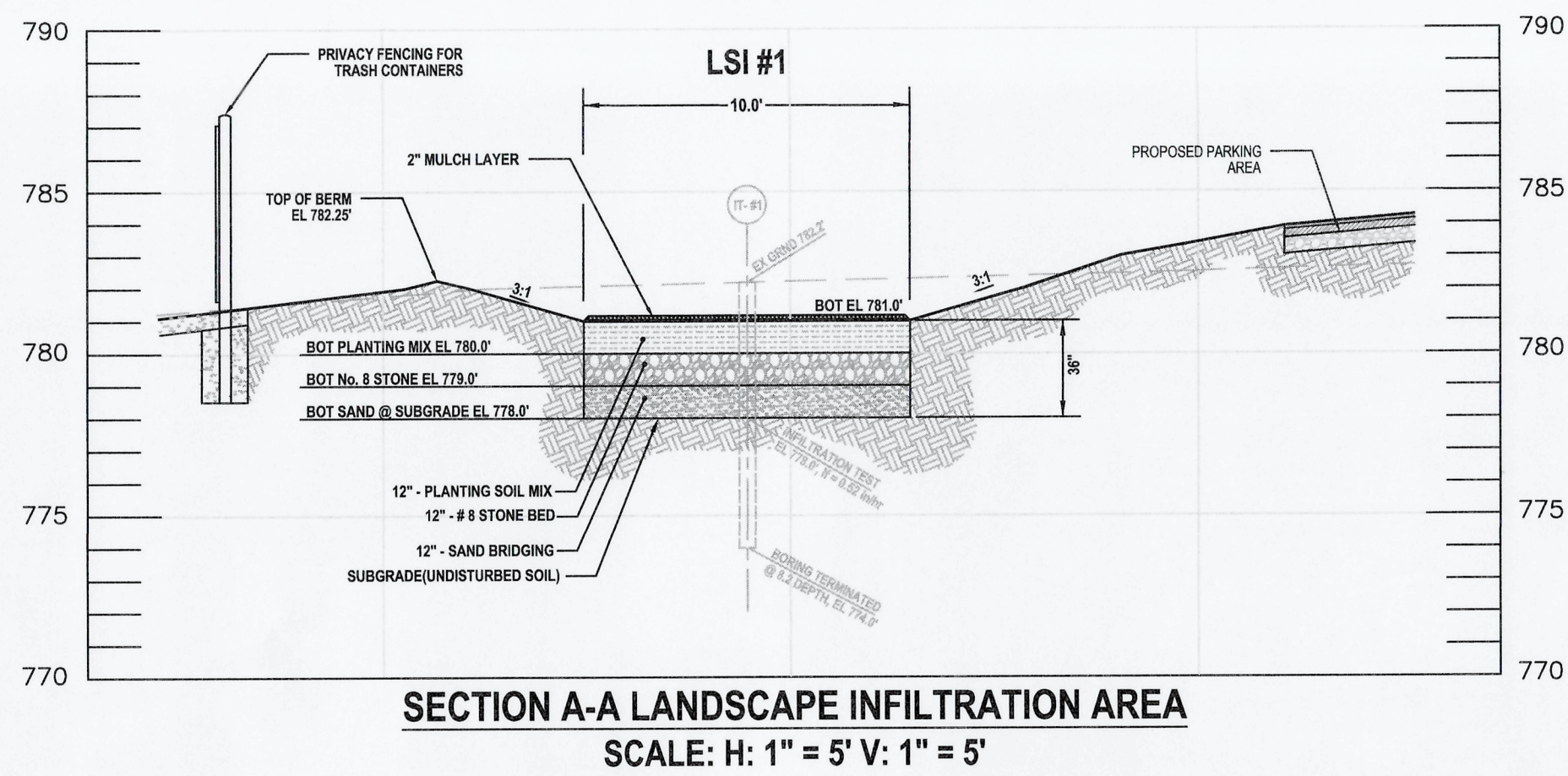
OWNER / DEVELOPER

JORDAN KNOX
PO BOX 317
TANEYTOWN, MD 21178
443-340-9927

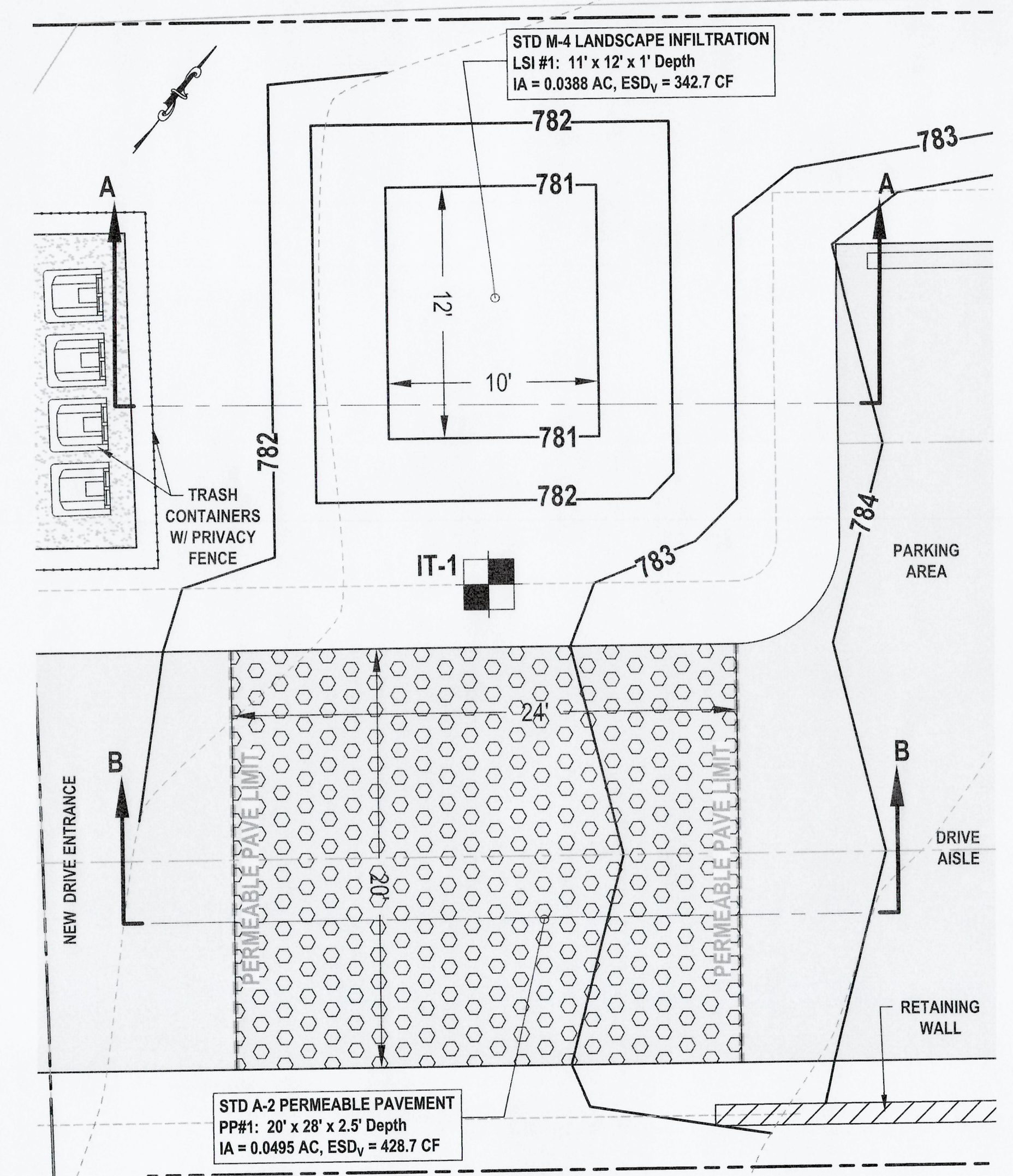
Surveyed By: BPR
Computed By: BPR
Date: AUGUST 14, 2023
Sheet: 5 OF 8
Scale: 1" = 10'
BPR Drawing No.: 21-0812

BPR LLC
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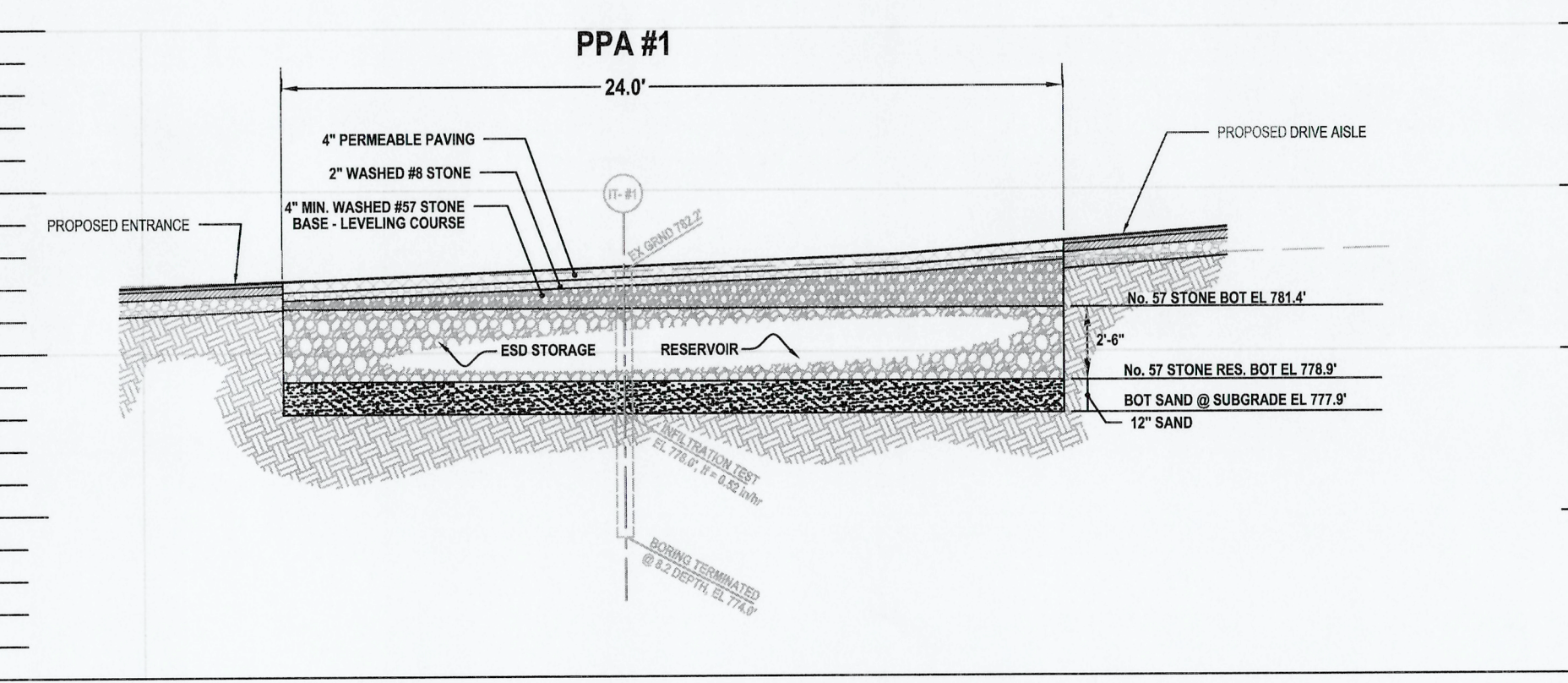
CC FILE #: S-22-0034



SECTION A-A LANDSCAPE INFILTRATION AREA
SCALE: H: 1" = 5' V: 1" = 5'



PLAN
SCALE: 1" = 5'



SECTION B-B PERMEABLE PAVEMENT AREA
SCALE: H: 1" = 5' V: 1" = 5'

STD M-4, LANDSCAPE INFILTRATION ESD
STD A-2, PERMEABLE PAVEMENT ESD

CARROLL COUNTY SUPPLEMENTAL MATERIALS SPECIFICATIONS FOR LANDSCAPE INFILTRATION			
MATERIAL	SPECIFICATION	SIZE	NOTES
Plantings		N/A	Plantings are Site Specific and per Approved Schematic Planting Plan
Seed Mix	Filter Bed Mix - Use Wet Meadow Mix per MD Standards and Specifications 707. See Table 2 (lb. mix / micro-bioretentation)	N/A	Used with Straw Mulch in Place of Shredded Hardwood Mulch.
Mulch	Shredded Hardwood	N/A	Aged 6 Months, Minimum.
Straw Mulch	MD Standards and Specifications 707. (200 lb. mix / micro-bioretentation)	N/A	Straw Mulch over seed bed.
Underdrain Gravel	AASHTO M-43 No. 8 Stone	3\"/>	

STORMWATER MAINTENANCE SCHEDULE LANDSCAPE INFILTRATION

MONTHLY INSPECTION		
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and areas around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan.
Vegetative Cover	Check for channelizing, erosion, and bare spots. Check for vegetation blocking overflow device.	Remove or cut back vegetation around inlet, and outlet structures. Mow side slopes when grass exceeds 12 inches in height, but do not mow filter bed. Remove grass clippings. Re-seed or re-plant in accordance with approved landscaping plan.
Mulch Layer	Check mulch for adequate cover, sediment accumulation or discoloration.	Replace and remove old mulch and excess sediment. Provide adequate mulch cover according to approved design.
SEASONAL INSPECTION AND AFTER A MAJOR STORM		
Dewatering	Check ponding level, surface storage must dewater within 48 hours of rainfall. Noticeable odors, stained water on the garden surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove and replace top few inches of media. Confirm dewatering with follow up inspections. If the facility does not function as intended after the above action, the entire system may need refurbishing.
Erosion	Check inflow, garden bed, outflow, and side slopes for erosion, rills, gullies, and runoff channelization.	Re-grade if concentrated flow is causing rills or gullies through the facility. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and on garden bed. Check for clogged openings.	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings.
Blockages	Check overflow inlet (riser) and piping for blockages.	Dispose of all sediment in an acceptable location. Clear out any blockages.
ANNUAL INSPECTION		
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstruction to access way.
Flow Conveyance System	Check overflow inlet, piping, and bypass for misalignments, leakage, and blockage.	Repair any broken or faulty piping. Clear out any blockages.
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riser pipe outfalls must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.

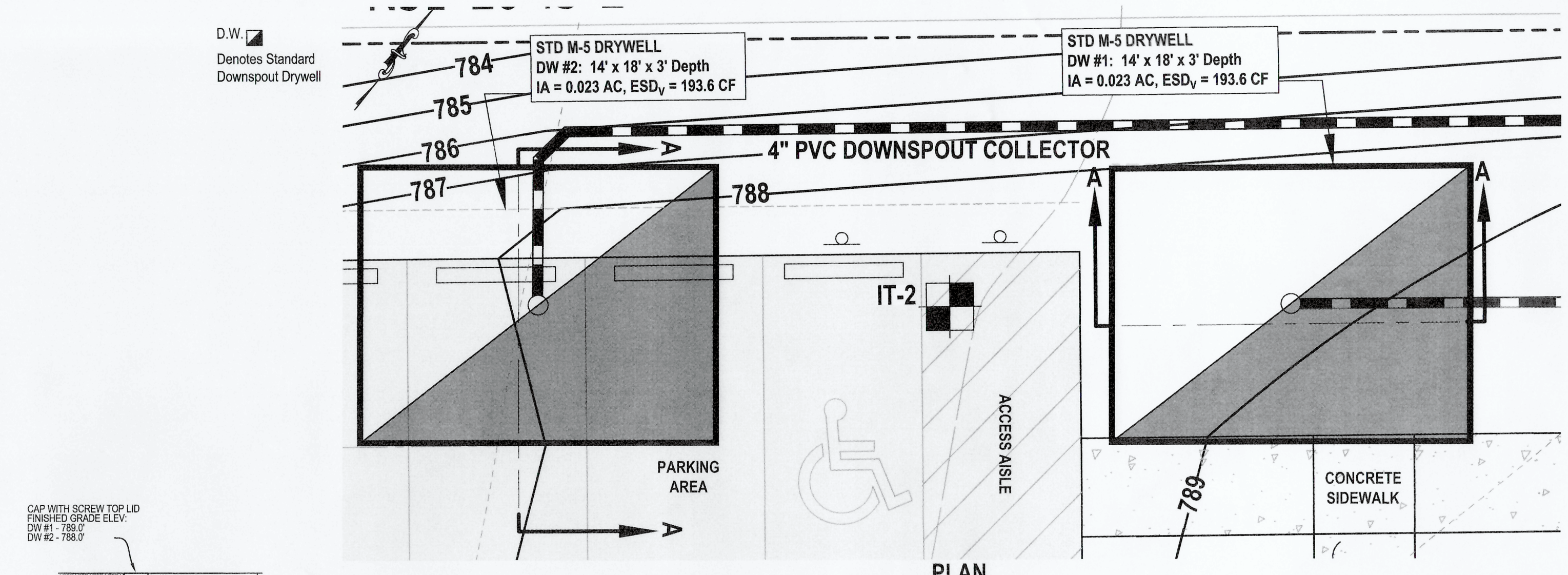
LANDSCAPE INFILTRATION ESD INSPECTION CHART

STAGE	INSPECTOR'S APPR.	
	INITIALS	DATE
1. GUTTER SYSTEM AND DOWNSPOUTS INSTALLED ON BUILDING. FACILITY BOTTOM, SIDE SLOPES, WEIR, AND OUTLET CHANNEL EXCAVATED TO SUBGRADE AND FINE GRADED PER PLAN LINE & GRADE.		
2. SAND BRIDGING, NO. 8 STONE BEDDING AND FILTER MEDIA / PLANTING SOIL LAYERS PLACED IN FACILITY		
3. DOWNSPOUT LEADER PIPES INSTALLED, CONNECTED TO DOWNSPOUTS AND EXTENDED INTO THE FACILITY. ALL FINE GRADING COMPLETED INCLUDING FOR THE POSITIVE DRAINAGE BETWEEN THE BUILDING AND FACILITY. TOPSOIL PLACED.		
4. SPLASH BLOCKS INSTALLED AT PIPE OUTFALLS. PLANTINGS COMPLETED AND MULCH PLACED.		
5. THE CONTRIBUTORY AREA TO THE FACILITY STABILIZED WITH 2\"/>		

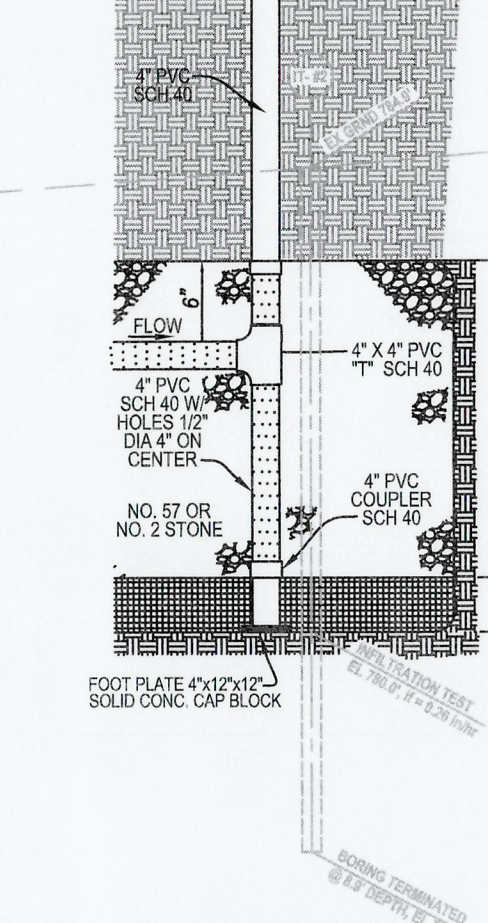
*NOTIFY CERTIFYING ENGINEER 48 HRS PRIOR TO COMMENCING CONSTRUCTION
Engineer's Name: BPR LLC Phone Number: (410) 876-0333

SEQUENCE OF CONSTRUCTION

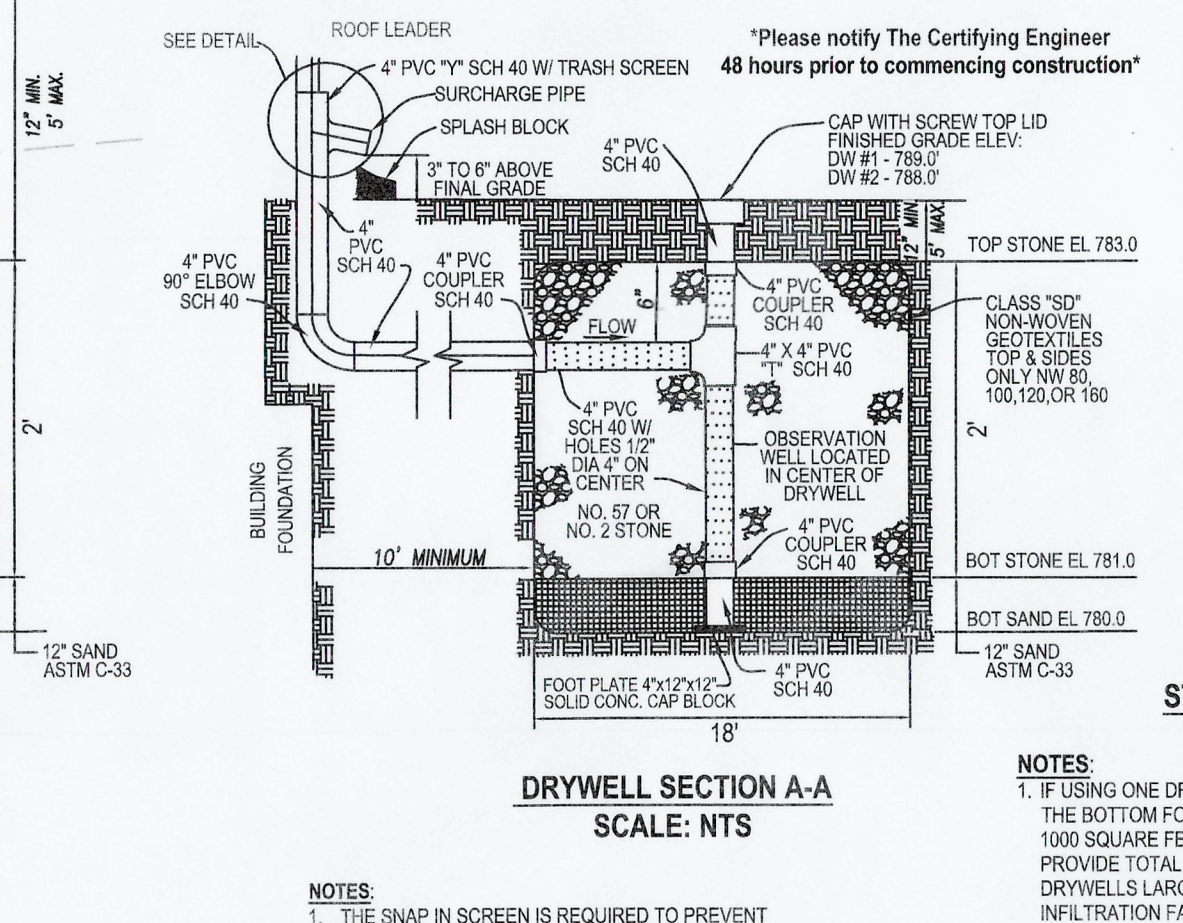
- Contact the certifying inspector @ 410-876-0333 at least 48 hours prior to construction.
- Install the Roof Gutter and Downspout System to drain the roof as shown on the plan. Excavate and fine grade the bottom, side slopes, weir, and outlet channel per plan line & grade.
- Place the Sand Bridging, #8 Stone Bedding and Filter Media / Planting Soil layers in the Facility.
- Excavate the trenches and construct the Downspout Leader Pipes. Connect the Leader Pipes to the Downspouts and Extend into the Facility. Complete the final grading, and either grade around the facility or fill along the building line to maintain positive drainage between the building and facility.
- Install the splash blocks at the leader pipe outfalls. Complete the Landscape Infiltration Facility plantings and place mulch.
- After the entire contributory area has been stabilized with a 2\"/>



PLAN
SCALE: 1" = 5'

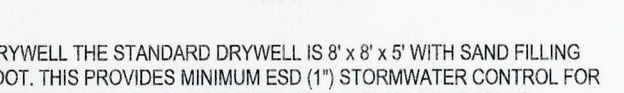


TYPICAL DRYWELL SECTION - INFILTRATOR TEST LOCATION
NTS



DRYWELL SECTION A-A
SCALE: NTS

STANDARD DRYWELL DOWNSPOUT FITTINGS



NTS

- NOTES:**
- IF USING ONE DRYWELL THE STANDARD DRYWELL IS 8' x 8' x 5' WITH SAND FILLING THE BOTTOM FOOT. THIS PROVIDES MINIMUM ESD (11) STORMWATER CONTROL FOR 1000 SQUARE FEET OF ROOFTOP. IF ADDITIONAL CONTROL IS REQUIRED TO PROVIDE TOTAL ESD TO MEET (UP TO 2.8) LARGER PRACTICES MAY BE USED. DRYWELLS LARGER THAN 216 CF OF STORAGE VOLUME MUST BE DESIGNED AS INFILTRATION FACILITIES.
 - MINIMUM SETBACKS:
A. 100 FT. FROM WELLS
B. 25 FT. FROM SEPTIC AREAS
C. 10 FT. FROM BUILDINGS
 - FROM THE DOWNSPOUT TO THE DRYWELL THE DRAIN PIPE MUST BE AT LEAST 6\"/>

STD M-5 DRYWELL ESD - DW #1 & DW #2

ENGINEER'S "AS-BUILT" CERTIFICATION

I/We hereby certify that the facility/facilities shown on this/these plan(s) was/were constructed as shown on the "As-Built" plans and meets the approved plans and specifications. I also certify that this/these facilities were inspected in accordance with Sections 151.095 and 151.096 of the Code of Public Local Laws and Ordinances of Carroll County & the City of Westminster and I hereby certify that these documents were prepared or approved by me, and I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Signed: _____ Date: _____
License No.: MD PE #15820 Expiration Date: 12/02/23

ENGINEER'S DESIGN CERTIFICATION

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Signed: _____ Date: 8/10/23

OWNER / DEVELOPER

JORDAN KNOX
PO BOX 317
TANEYTOWN, MD 21787
443-340-9927

DATE	REVISION	BY

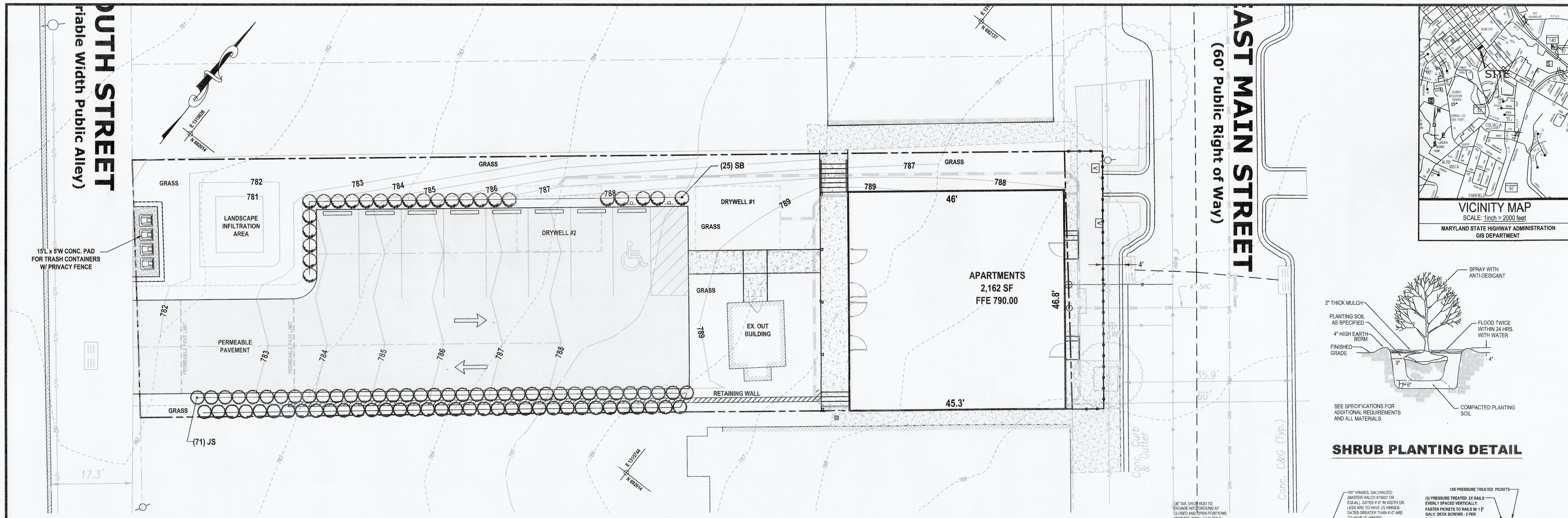
STORMWATER MANAGEMENT ESD PLANS, NOTES & DETAILS KNOX PROPERTY

288 E. MAIN APARTMENTS- WESTMINSTER, MD 21157
7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
TAX MAP - 107 GRID - 16 PARCEL - 1829

Surveyed By BPR	Drawn By MJM
Computed By BPR	Checked By BPR
Date: AUGUST 14, 2023	
Sheet: 6 OF 8	
Scale: AS SHOWN	
BPR Drawing No.: 21-0812	

CC FILE # : S-22-0034

BPR LLC
SURVEYS - LAND PLANNERS
150 AIRPORT DRIVE - SUITE 4
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OR (410)-876-0333
FAX: (410)-876-1532
WWW.BPRSURVEYING.COM



LANDSCAPE PLANS AND SPECIFICATIONS REFERENCES:

- ALL PLANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH HORTUS THIRD, BY L.H. BAILEY, 1976 OR ITS LATEST EDITION.
- ALL NURSERY STOCK SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. STANDARDS AS DESCRIBED IN THE AMERICAN STANDARDS FOR NURSERY STOCK, PUBLICATION ANSI Z602.1-2014 OR ITS LATEST EDITION.
- LANDSCAPE SPECIFICATIONS SHALL CONFORM TO THE CURRENT LANDSCAPE SPECIFICATIONS GUIDELINES BY LANDSCAPE CONTRACTORS ASSOCIATION, MD-DC-VA, 2014 EDITION. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES IN THE GUIDELINES WITH THE FOLLOWING EXCEPTIONS:
 - IF THE SOIL IS WET OR COMPACTED, ALL CONTAINERIZED AND BALLED NURSERY STOCK SHOULD BE PLANTED SUCH THAT THE TOP ONE-THIRD OF THE ROOTBALL IS ABOVE THE EXISTING GRADE. THIS DEPARTURE IN THE ESTABLISHED PROCEDURES HAS BEEN DOCUMENTED TO INCREASE THE RATE OF TRANSPLANT SUCCESS IN THESE TYPES OF SOIL.
 - WIRE AND NONDEGRADABLE MATERIALS SHOULD BE REMOVED AS FAR AS PRACTICAL BEFORE BACKFILLING TO PREVENT ROOT GIRDLING.

MAINTENANCE, SUBSTITUTIONS, AND REPLACEMENT

Maintenance of plant material shall begin when project commences and continue until the final inspection and acceptance. Planting maintenance shall include all necessary watering, cultivation, weeding, pruning, wound dressing, disease and insect pest control, protective spraying, replacement of unacceptable material, straightening plants, which lean or sag, adjustment of plants which settle or are planted too low, and any other procedure consistent with good horticultural practices necessary to insure normal, vigorous, and healthy growth of all work under this contract.

Contractor shall be responsible for the use of all materials, labor, and equipment, and any injury to plant material caused by such material, labor, or equipment shall be corrected and repaired by the Contractor at no additional expense to the Owner.

A proving period shall follow the completion of all planting for one year. All plant material found to be unsatisfactory during the proving period shall be replaced the Contractor, at no additional expense to the Owner. All replacements shall have a one year proving period and shall be installed in accordance with the planting times and specifications stated above.

Any plant substitutions must be approved by the Owner or representative, and City of Westminster planning department.

PLANTING SPECIFICATIONS

Plants shall be freshly dug at time of delivery. Balled and burlapped plants shall be dug with solid balls of adequate size, the balls securely wrapped with burlap or canvas, lightly bound with rope or wire.

The Planting Seasons for plant material shall be as follows:

Deciduous Trees and Shrubs: October 1 thru December 15
March 15 thru May 30

Evergreen Trees, Shrubs and Vines: September 1 thru November 15
March 15 thru May 15

At the option and full responsibility of the contractor, planting operations may be conducted under unseasonable conditions without additional compensation. Contractor is responsible to maintain watering of plants planted outside of the recommended dates above until root system establishment is verified.

Planting and backfill mix shall consist of 3 parts excavated soil, 1 part soil conditioner and fertilizer (14-14-14).

Reasonable care shall be exercised to have pits dug and soil prepared prior to moving plants on site for planting to ensure that they will not be unnecessarily exposed to drying elements or physical damage. Size of pits shall be 1-1/2 to 2 times the diameter of the root ball and the root ball shall be elevated 2" height of the root ball above the ground to allow for drainage. A broad mound of soil shall be left around the base to enable the elevation to blend into the site.

Ground cover areas shall be prepared as specified before. Plant ground cover to within 1'-0" of tree trunks or shrubs. Plantings shall be spaced 12" on center.

Plant holes shall be backfilled with soil mix specified above placed in layers around roots or ball. Each layer shall be carefully tamped to avoid injury to plants and roots. When holes are approximately two-thirds full, the hole shall be filled with water and the soil allowed to settle around roots. After the water has been absorbed, the hole shall be filled with backfill mix and lightly tamped. Berms, 3" in height shall be formed around the hole as shown in the planting details.

All planting beds shall be mulched with peat moss and/or finely shredded and composted bark as follows:
Ground cover beds shall be mulched after planting to a depth of 1 inch.
Other plants shall be mulched after planting to a depth of 2 inches.

Mulch shall be applied immediately after planting to retain moisture. Rake surface smooth and even, then soak full depth of mulch thoroughly.

Trees shall be staked and wrapped according to the following:
Wire shall be 12 gauge annealed galvanized. Hose shall be 1/2" diameter, 2 ply reinforced hose. Stake shall be sound uniform 2"x2" oak, length as shown.

LANDSCAPE PLAN SCALE: 1"=10'

LANDSCAPE DESIGN GENERAL NOTES:

- TREE PRESERVATION IS NOT REQUIRED FOR THIS PROJECT, THERE ARE NO TREES BEING PRESERVED.
- PARKING ISLANDS ARE NOT REQUIRED FOR THIS PROJECT, THERE ARE LESS THAN 12 PARKING SPACES ON THE SITE.

PLANT LIST

SYM.	BOTANICAL NAME	CULTIVAR	COMMON NAME	QUANTITY	MIN. SIZE	ROOT CONT.	REMARKS	PLANT UNITS
SHRUBS								
SB	SPIREA X BUNALDA	'GOLDFLAME'	GOLDFLAME SPIREA	25	2-3 gal.		DECIDUOUS	5
JS	JUNIPERUS SQUMAYATA	'BLUE STAR'	BLUE STAR JUNIPER	71	1 gal.		EVERGREEN	14.2

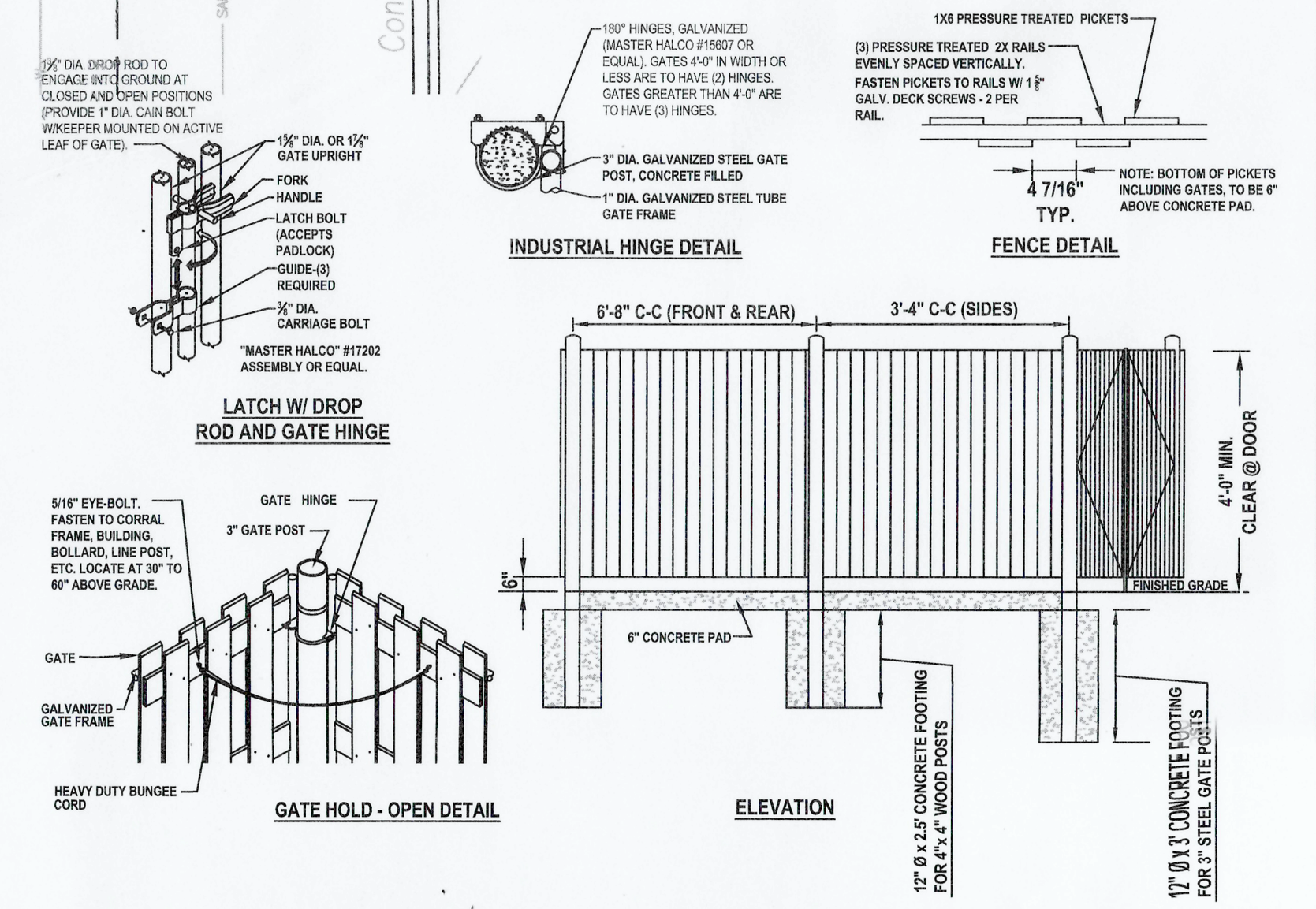
LANDSCAPE MANUAL CALCULATIONS

NO.	DESCRIPTION	RATE	QUANTITY	PLANTING UNITS
1	RESIDENTIAL DEVELOPMENT	1 DU/3.5 PU	4 DU	14 PU
2	CONDITION A - STREET FRONTAGE	15 LF/1 PU	55 LF	3.7 PU
3	CONDITION B - PARKING LOT R/W FRONTAGE (CLASS B SCREENING)	15 LF/1 PU	20 LF	1.3 PU
4	CONDITION C - TRASH CAN STORAGE (CLASS A SCREENING)	N/A	N/A	FENCED
PLANTING UNITS:				19 P.U.

NO.	DESCRIPTION	RATE	QUANTITY	PLANTING UNITS
1.	SHRUBS - 18" HT. MIN.	5 SHRUBS/1 PU	96	19.2
TOTAL PLANTING UNITS PROVIDED				19.2 P.U.

LANDSCAPE CONSTRUCTION GENERAL NOTES:

- IN AREAS WHERE EXISTING CONCRETE OR BITUMINOUS PAVEMENT REMOVAL IS DESIGNATED FOR PERMANENT LANDSCAPING, REMOVE FULL DEPTH BASE & SUBBASE MATERIALS DOWN TO THE SUBGRADE SOILS, AERATE AND FILL BACK TO WITHIN 0" OF FINISHED GRADE WITH A WELL-DRAINED PLANTING SUBSOIL MIX. BRING TO FINISHED GRADE WITH 6" TOPSOIL MIX.
- ALL PERMANENT GRASSED AREAS SHALL BE PREPARED AND PLANTED IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF SECTION 8-4 OF THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.



TRASH RECEPTACLE AREA ENCLOSURE NTS

DATE	REVISION	BY

LANDSCAPE PLAN, NOTES & DETAILS
KNOX PROPERTY
 288 E. MAIN APARTMENTS- WESTMINSTER, MD 21157

7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
 TAX MAP - 107 GRID - 16 PARCEL - 1829

OWNER / DEVELOPER

JORDAN KNOX
 PO BOX 317
 TANEYTOWN, MD 21787
 443-340-9927

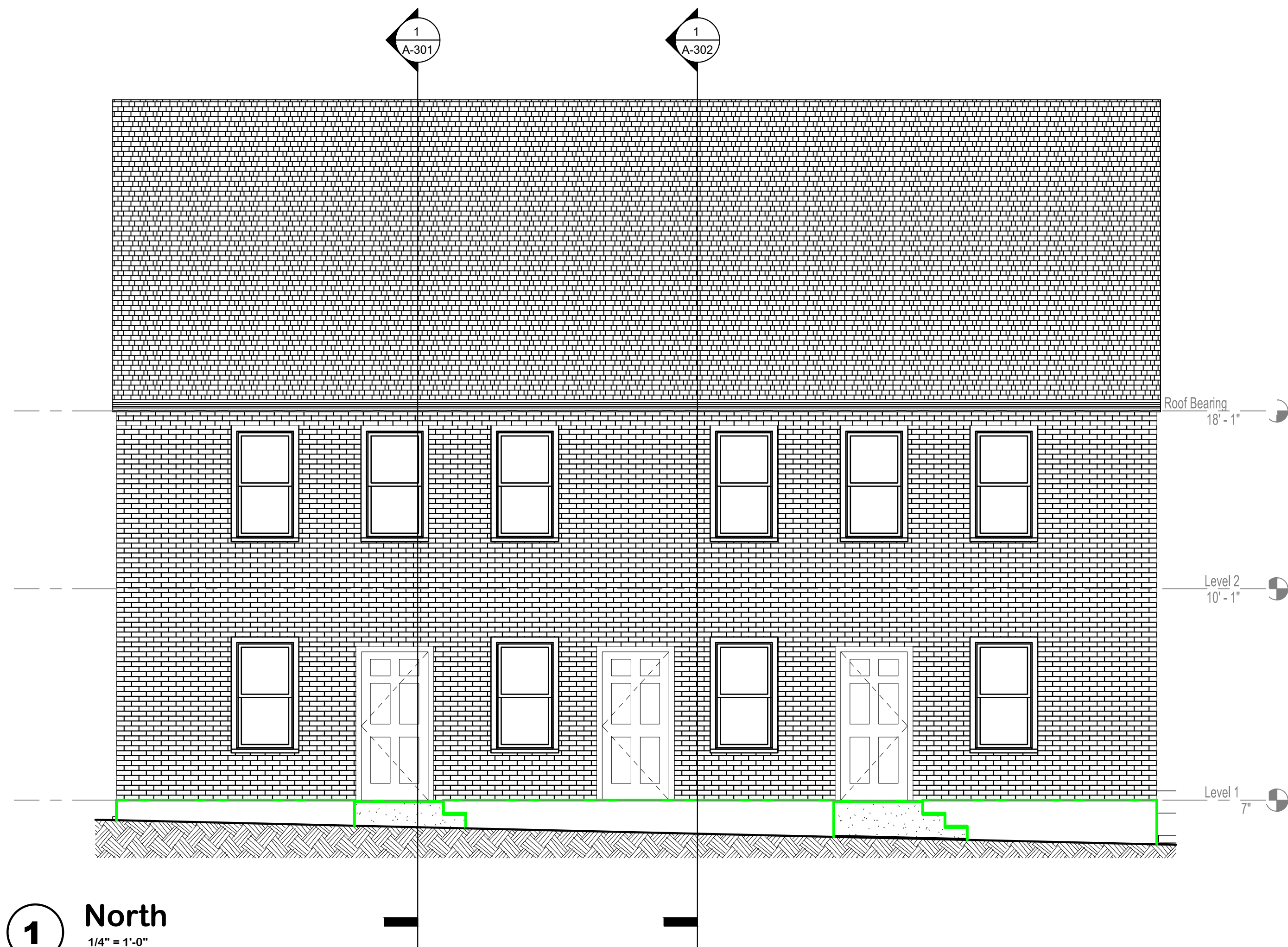
Surveyed By	Drawn By
BPR	MJM
Computed By	Checked By
BPR	BPR
Date:	AUGUST 14, 2023
Sheet:	7 OF 8
Scale:	1" = 10'
BPR Drawing No.:	21-0812

BPR LLC
SURVEYORS - LAND PLANNERS

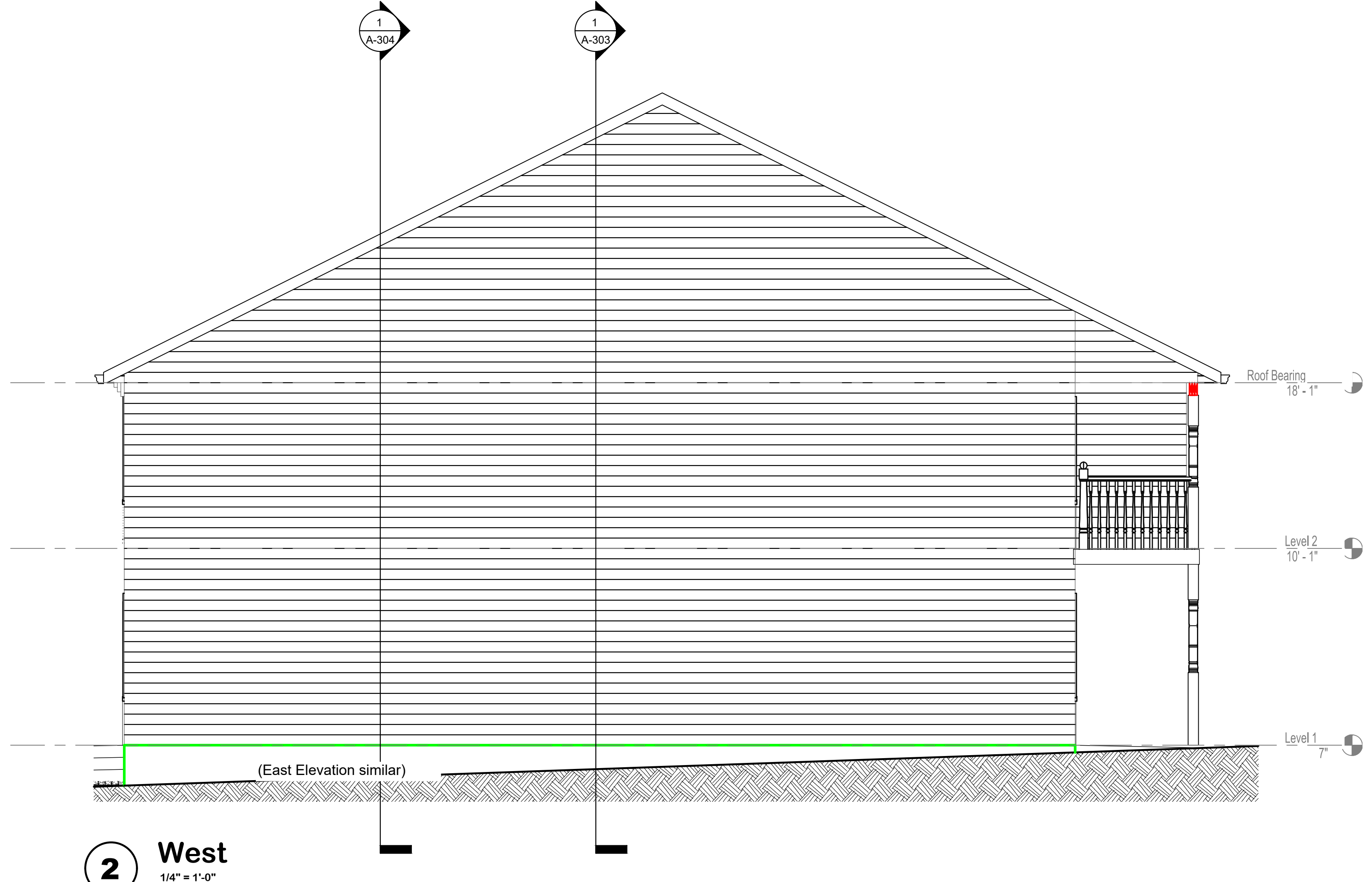
150 AIRPORT DRIVE - SUITE 4
 WESTMINSTER, MARYLAND 21157
 PHONE: (410)-857-9030
 OR (410)-876-0333
 FAX: (410)-876-1532
 WWW.BPRSURVEYING.COM

CC FILE # : S-22-0034

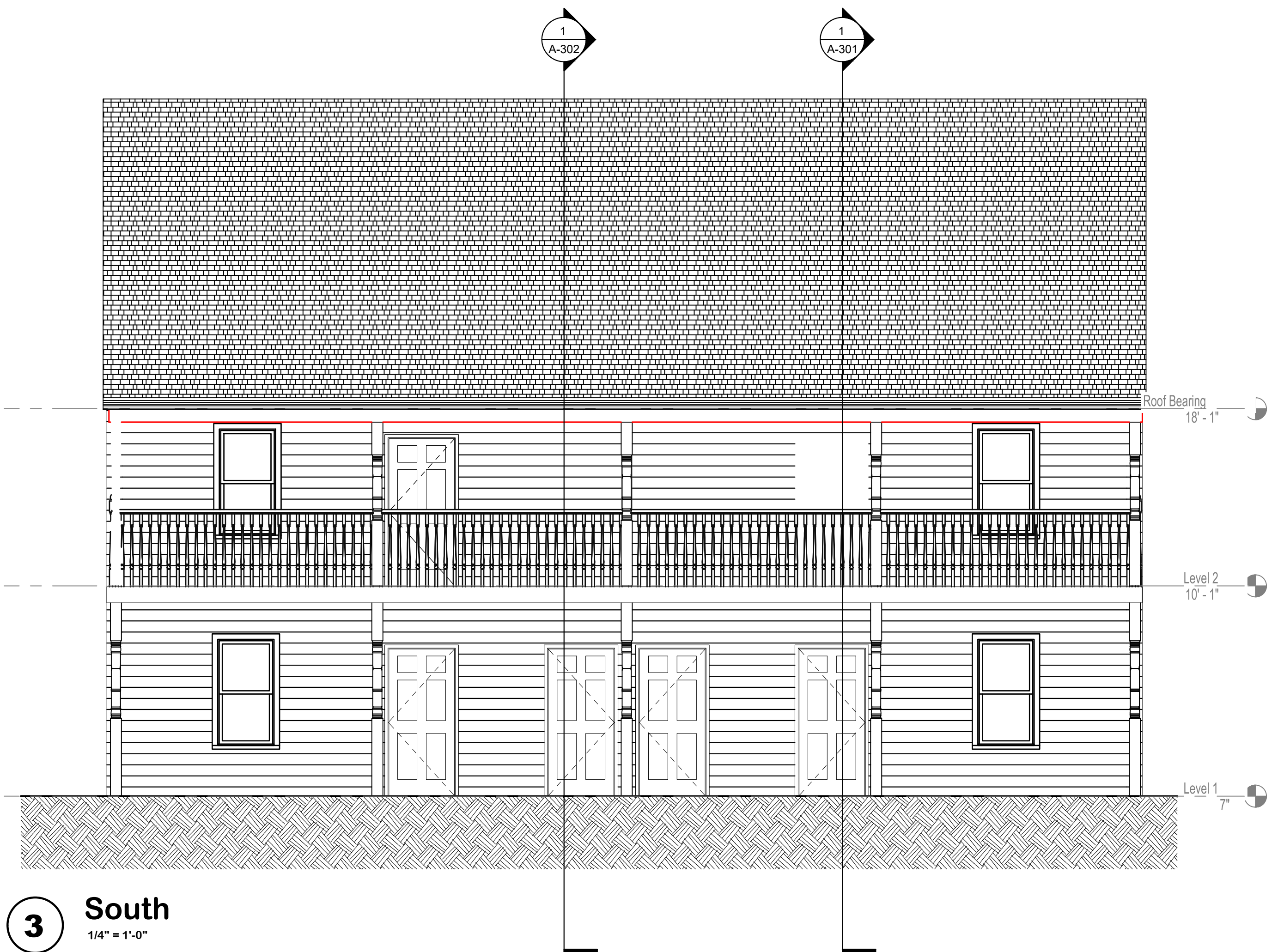
EXISTING	LEGEND	PROPOSED	
-----	PROPERTY LINE SUBJECT	-----	PROPERTY LINE SUBJECT
-----	PROPERTY LINE ADJOINER	-----	PROPERTY LINE ADJOINER
-----	DENOTES EDGE OF ROAD	-----	DENOTES EDGE OF ROAD
-----	DENOTES CURB	-----	DENOTES CURB
-----	CENTER LINE ROAD	-----	CENTER LINE ROAD
-----	DENOTES BUILDING	-----	DENOTES BUILDING
-----	DENOTES WATER LINE	-----	DENOTES WATER LINE
-----	SANITARY SEWER LINE	-----	SANITARY SEWER LINE
⊙	STORMDRAIN MANHOLE	⊙	STORMDRAIN MANHOLE
⊙	SANITARY SEWER MANHOLE	⊙	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER CLEAN OUT	⊙	SANITARY SEWER CLEAN OUT
♿	HANDICAP PARKING	♿	HANDICAP PARKING
-----	EDGE OF PAVEMENT	-----	EDGE OF PAVEMENT
-----	DENOTES CONTOURS	-----	DENOTES CONTOURS
-----	DENOTES SUPER SILT FENCE	-----	DENOTES SUPER SILT FENCE
-----	DENOTES SILT FENCE	-----	DENOTES SILT FENCE
-----	LIMITS OF DISTURBANCE	-----	LIMITS OF DISTURBANCE
-----	OVERHEAD UTILITIES	-----	OVERHEAD UTILITIES
-----	GUARD RAIL	-----	GUARD RAIL
-----	CONCRETE	-----	CONCRETE
-----	PAVEMENT (DRIVEWAYS / ROADS)	-----	PAVEMENT (DRIVEWAYS / ROADS)
⊙	WATER VALVE	⊙	WATER VALVE
⊙	WATER METER	⊙	WATER METER
⊙	FIRE HYDRANT	⊙	FIRE HYDRANT



1 North
1/4" = 1'-0"



2 West
1/4" = 1'-0"



3 South
1/4" = 1'-0"

GENERAL NOTE:

THE OFFICE OF DEAN ROBERT CAMLIN & ASSOC., INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY NOR FOR THE COMPLETENESS OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ALL FEATURES AND DIMENSIONS SHOULD BE VERIFIED BY CONTRACTOR PRIOR TO BEGINNING WORK.

DATE	REVISION	BY

BUILDING ELEVATIONS
KNOX PROPERTY
 288 E. MAIN APARTMENTS- WESTMINSTER, MD 21157
 7th ELECTION DISTRICT CARROLL COUNTY, MARYLAND
 TAX MAP - 107 GRID - 16 PARCEL - 1829

Surveyed By BPR	Drawn By MJM
Computed By BPR	Checked By BPR
Date:	AUGUST 14, 2023
Sheet:	8 OF 8
Scale:	AS SHOWN
BPR Drawing No.:	21-0812

CC FILE # : S-22-0034

JORDAN KNOX PO BOX 317 TANEYTOWN, MD 21187 443-340-9927	BPR LLC SURVEYORS - LAND PLANNERS 150 AIRPORT DRIVE - SUITE 4 WESTMINSTER, MARYLAND 21157 PHONE: (410)-857-9030 OR (410)-876-0333 FAX: (410)-876-1532 WWW.BPRSURVEYING.COM
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OWNER / DEVELOPER

Application for Administrative Adjustment

PAGE 1

CITY OF WESTMINSTER, MARYLAND

Application for Hearing

In accordance with the provisions of Chapter 164-Zoning of the Westminster City Code, application is made for administrative adjustment to the Director of Planning and Public Works as follows:

APPLICANT: Jordan Knox

PHONE: 443-340-9927

APPLICANT ADDRESS: PO Box 317 - Taneytown, MD 21787

OWNER (if other than applicant): n/a

OWNER ADDRESS: n/a

SUBJECT PROPERTY ADDRESS: 288 E. Main Street - Westminster, MD 21811

PROPERTY IDENTIFICATION:

MAP 107

PARCEL 1829

LIBER 10170

FOLIO 456

Nature of Request

Current Zoning

Of Property: D-B Downtown Business

Zoning Ordinance Basis of Request: § 164-115

Current Use of Property: Vacant

Acreage of Property: 0.25 Ac

The applicant requests the following adjustment(s) as marked:

- Local Height Requirements
- Local Setback Requirements
- Local Bulk Requirements
- Local Parking Requirements
- Local Loading Requirements
- Local Area Requirements
- Local Dimensional Requirements

Description of Request in Detail: We are formally requesting an Administrative Adjustment be considered for 288 E. Main St. - in relation to local dimensional requirements. The property in question is w/in the Westminster Historic District and does maintain a historic outbuilding that must be preserved. Considering the size constraints of the property - and the required preservation - the design team considered multiple options. It is in our professional opinion that the best way to maintain this structure and still meet the CoW site development standards, is to reduce the proposed parking lot drive aisle width from the required 25' width down to a proposed width of 20'. Through the use of AASHTO Turning Templates, we have shown that appropriate vehicular circulation can still be achieved w/ the reduced aisle width - see attached exhibit. This administrative adjustment application requests a reduction of the standard drive aisle width from 25' to 20'.


Signature of Applicant

3/13/24
Date

Application for Administrative Adjustment

PAGE 2

CITY OF WESTMINSTER, MARYLAND

APPLICANT: Jordan Knox

ADJOINING (CONTIGUOUS) PROPERTY OWNERS:

(Including adjacent property owners on opposite side of streets or roads)

Name: MBXM Properties LLC
Address: 735 Lucabaugh Mill Road
Westminster, MD 21157

Name: Gary & Sharon Helwig
Address: 287 E. Main Street
Westminster, MD 21157

Name: ICI Realty LLC
Address: 271 E Green Street
Westminster, MD 21157

Name: Pierced Wood LLC
Address: 280 E. Main Street
Westminster, MD 21157

Name: Pierced Wood LLC
Address: 280 E. Main Street
Westminster, MD 21157

Name: PNJ5072 LLC
Address: 7645 Harman Drive
Sykesville, MD 21784

Name: Raymond & Dorothy Duvall
Address: 283 E. Main Street
Westminster, MD 21157

Name: _____
Address: _____

Name: Arthur Cromwell Jr.
Address: 285 E. Main Street
Westminster, MD 21157

Name: _____
Address: _____

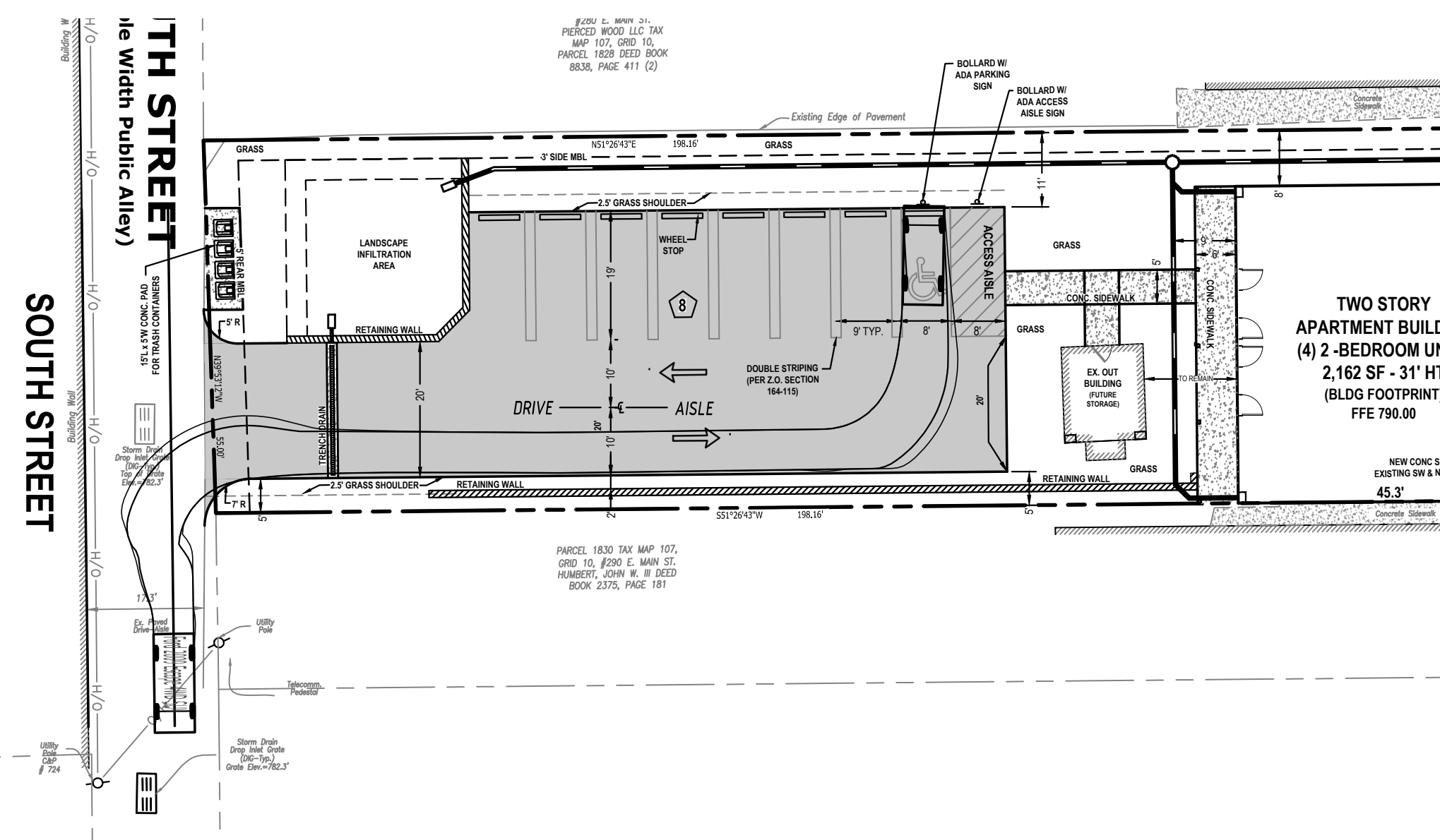
I understand that the above information is required for the processing of my case and I hereby certify the list of contiguous property owners and their addresses:


Signature of Applicant

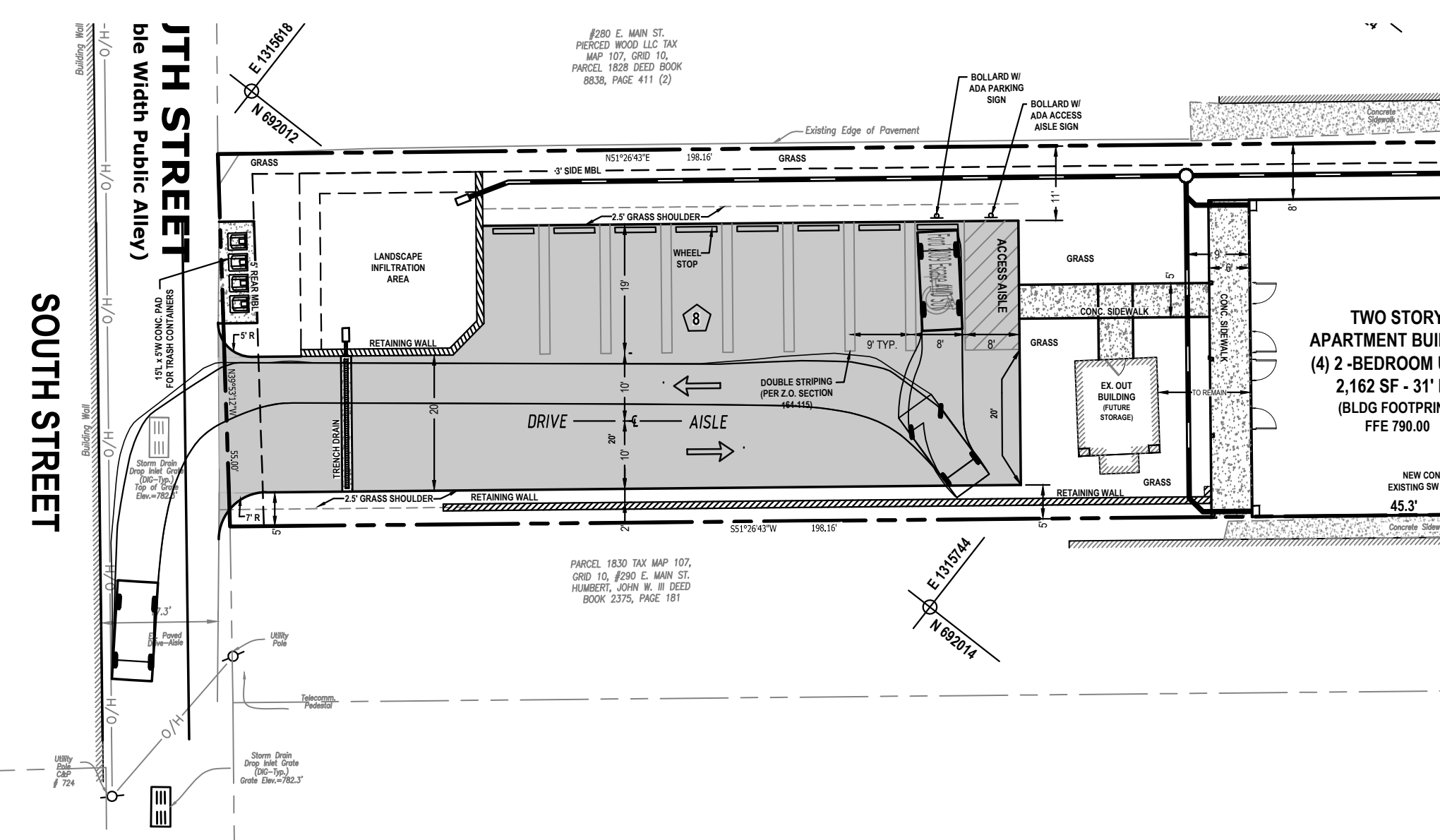
3/13/24
Date

Case Number Assigned: # _____
Date of Hearing: _____ / _____ / _____
Newspaper Advertisement: _____
Property Posted: _____
Zoning Certificate Number: # _____

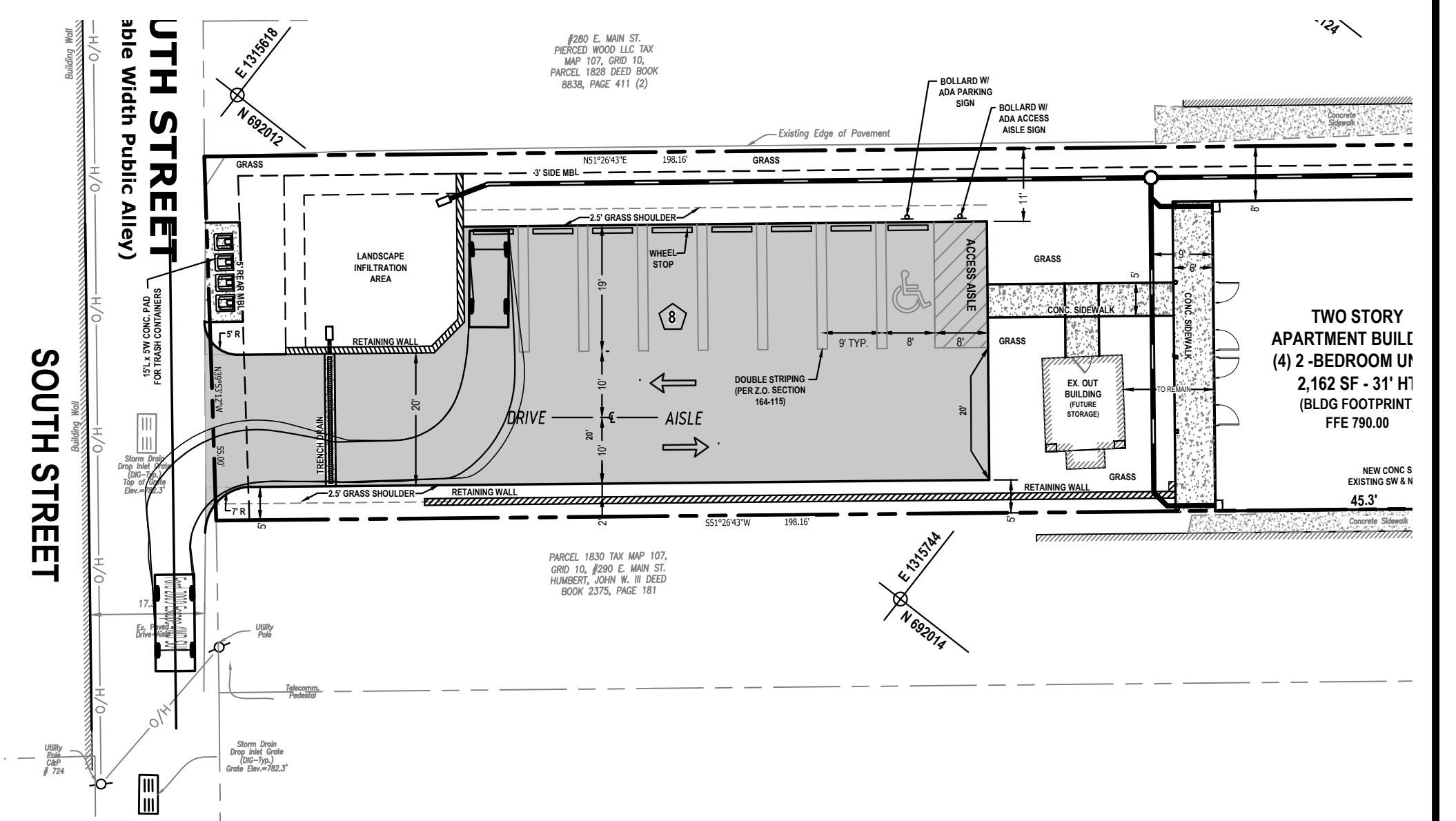
Date Filed: _____ / _____ / _____
Application Fee Received: _____
Decision: _____
Date Decision Rendered: _____ / _____ / _____



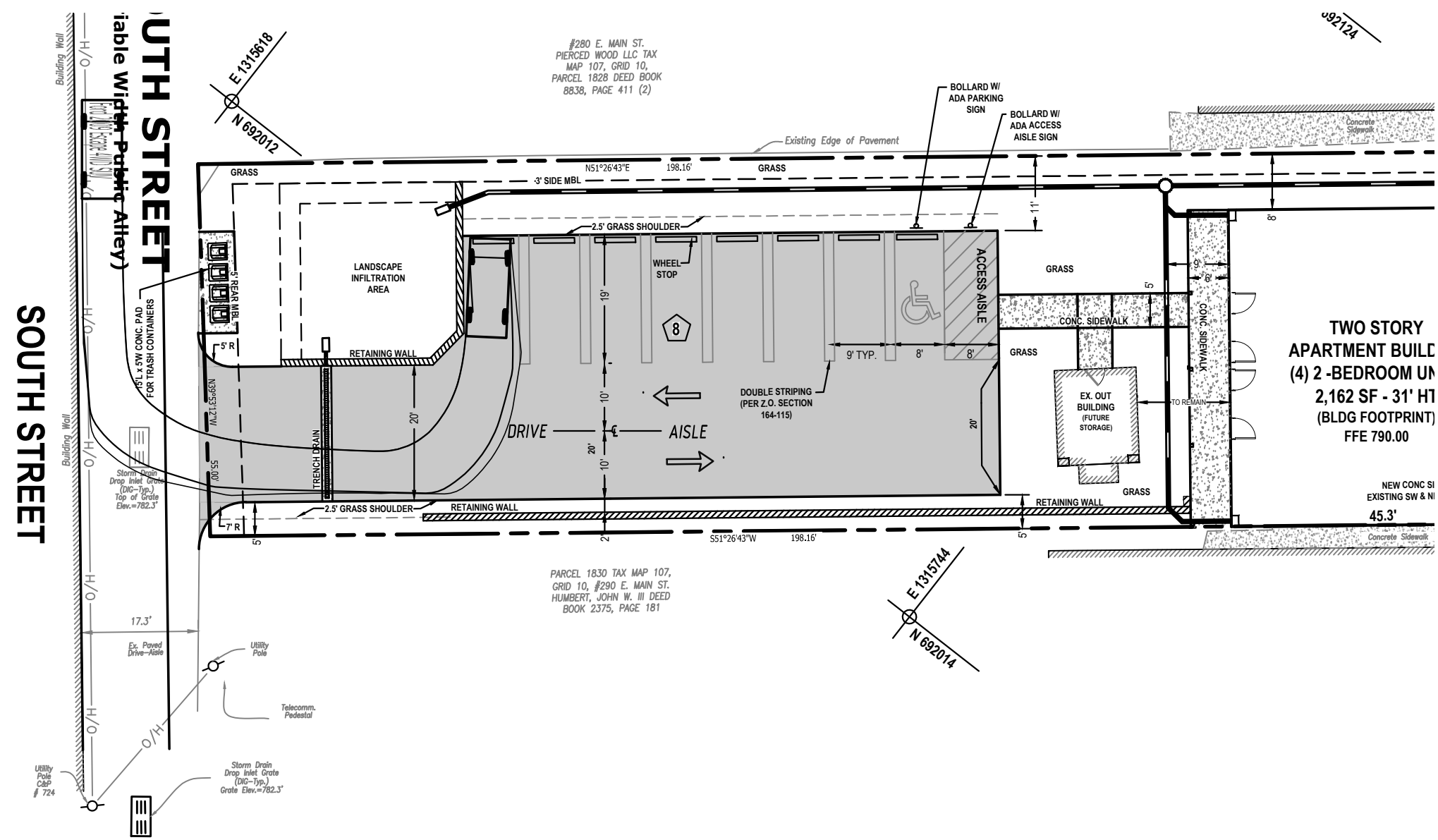
NORTHBOUND LANE ENTRY INTO HC PARKING SPACE



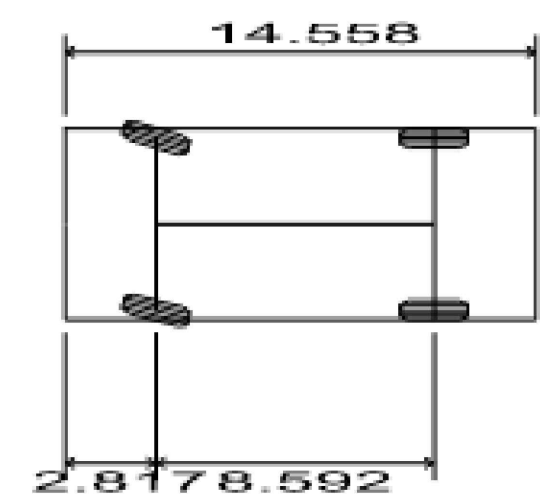
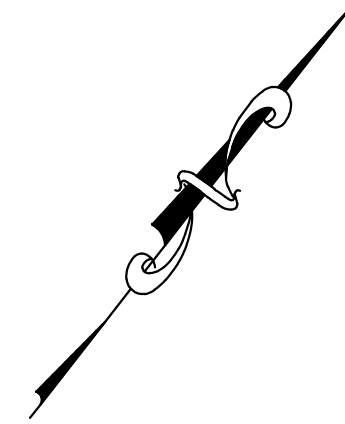
LEAVE HC PARKING SPACE, ENTER SOUTHBOUND LANE



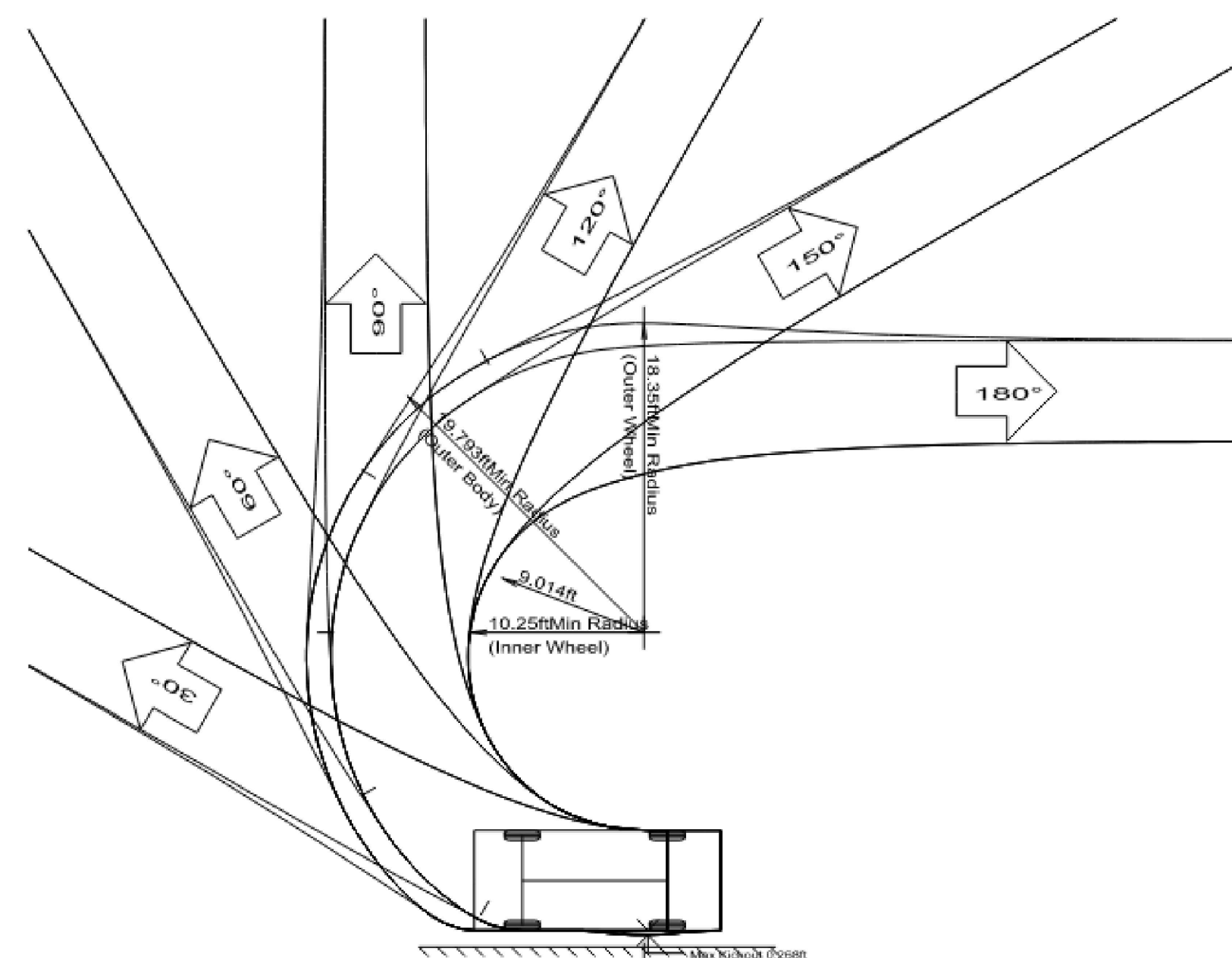
NORTHBOUND LANE ENTRY INTO CLOSEST PARKING SPACE



SOUTHBOUND LANE ENTRY INTO CLOSEST PARKING SPACE



Ford 2009 Escape 4WD SUV
 Overall Length 14.558ft
 Overall Width 5.925ft
 Overall Body Height 5.649ft
 Min Body Ground Clearance 0.675ft
 Track Width 5.925ft
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 18.350ft



ADMINISTRATIVE ADJUSTMENT EXHIBIT TURNING TEMPLATES - FORD ESCAPE SUV KNOX PROPERTY 288 E. MAIN APARTMENTS - WESTMINSTER, MD 21157 7th ELECTION DISTRICT CITY OF WESTMINSTER - CARROLL COUNTY, MARYLAND TAX MAP - 107 GRID - 16 PARCEL - 1829		BPR LLC SURVEYORS - LAND PLANNERS 150 AIRPORT DRIVE - SUITE 4 WESTMINSTER, MARYLAND 21157 PHONE: (410)-857-9030 OR (410)-876-0333 FAX: (410)-876-1532 WWW.BPRSURVEYING.COM																							
			OWNER / DEVELOPER JORDAN KNOX PO BOX 317 TANEYTOWN, MD 21178 443-340-9927	<table border="1"> <tr> <td>Surveyed By</td> <td>BPR</td> <td>Drawn By</td> <td>MJM</td> </tr> <tr> <td>Computed By</td> <td>BPR</td> <td>Checked By</td> <td>BPR</td> </tr> <tr> <td>Date:</td> <td colspan="3">MARCH 22, 2024</td> </tr> <tr> <td>Sheet:</td> <td colspan="3">1 OF 1</td> </tr> <tr> <td>Scale:</td> <td colspan="3">AS SHOWN</td> </tr> <tr> <td>BPR Drawing No.:</td> <td colspan="3">21-0812</td> </tr> </table>	Surveyed By	BPR	Drawn By	MJM	Computed By	BPR	Checked By	BPR	Date:	MARCH 22, 2024			Sheet:	1 OF 1			Scale:	AS SHOWN			BPR Drawing No.:
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