



ADMINISTRATIVE ADJUSTMENT HEARING AGENDA

Tuesday, June 18, 2024, at 3 PM Virtual

Meeting:

<https://www.youtube.com/@CityofWestminsterMD/streams>

www.WestminsterMD.gov

1. Agenda - 06-18-2024

Documents:

[2024-06-18 ADMINISTRATIVE ADJUSTMENT AGENDA.PDF](#)

2. Call To Order

Statement of Authority - Pursuant to Maryland Code Annotated, Land Use Article, Division 1, Single Jurisdiction Planning and Zoning, Title 4, Zoning, Subtitle 2, Designation and Adoption, Section 4-205 and the City of Westminster Zoning Ordinance Section 164-158.1A.(1), "...the Planning Director [Director] is authorized to grant administrative adjustments from the following requirements contained in this chapter:

- (a) Local height requirements;
- (b) Local setback requirements;
- (c) Local bulk requirements;
- (d) Local parking requirements;
- (e) Local loading, dimensional, or area requirements; or
- (f) Similar local requirements.

The Director may grant an administrative adjustment in cases where the strict compliance with the requirements of this chapter would result in practical difficulty or unreasonable hardship which has not been caused by the applicant.

3. Public Hearings

3.1. CASE: AA 24-03

An application by WCA North LLC, represented by Christine DiSalvo from Maryland Financial Investors Inc, requesting approval of an Administrative Adjustment for 245 Baltimore Boulevard Westminster, Maryland 21157 (SDAT# 07-025750) to Zoning Ordinance Sections 164-121.5.A. to permit a wall sign larger than 125 square feet for the Sprouts Grocery Store.

Documents:

4. Adjournment



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II. Public Hearings

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III. Adjournment



To: Mark A. Depo, Director of Community Planning and Development

From: Joe Adkins - AICP, City Planner

Hearing Date: June 18, 2024

Subject: **Administrative Adjustment Case AA 24-03 Staff Memo**

Re: An application by WCA North LLC, represented by Christine DiSalvo from Maryland Financial Investors Inc, requesting approval of an Administrative Adjustment for 245 Baltimore Boulevard Westminster, Maryland 21157 (SDAT# 07-025750) to Zoning Ordinance Sections 164-121.5.A. to permit a wall sign larger than 125 square feet for the Sprouts Grocery Store.

I. BACKGROUND

On February 1, 2024, an application was submitted to the Department of Community Planning and Development for an administrative adjustment at 245 Baltimore Boulevard Westminster, Maryland 21157 and further identifies as Maryland Department of Assessment and Taxation (SDAT) number 07-025750 (the "Property"). The Property is zoned "B Business Zone" and is subject to the City of Westminster Zoning Ordinance (the "Zoning Ordinance"). The SDAT online records indicate the property is owned by WCA North LLC located at 2800 Quarry Lake Drive #340 Baltimore, MD 21209.

The Property is approximately 7.76 acres and contains two commercial buildings, a stand-alone restaurant and a strip of retail/commercial businesses of approximately 26,762 square feet. Spouts Grocery Store comprises of approximately 17,838 square feet or 48.5% of the total square footage of the strip retail/commercial building. Pursuant to Zoning Ordinance Article VIII, B Business Zone, Section 164-41 A.(25), "Food and grocery stores" is a permitted uses in the B Business Zone.

II. NOTICE

The property was posted with notice of the pendency of the application and the adjoining property owners were notified of the application by first class mail as to the date, time, and place of the Administrative Adjustment Case AA 24-03 hearing. These notices were provided to meet the notification requirements set forth in the Section IV of the Administrative Adjustment Procedures, as contained in Resolution No. R-03-9. On June 14, 2024, a copy of the agenda was posted on the City's website.

III. AUTHORIZATION

Pursuant to Maryland Code Annotated, Land Use Article, Division 1, Single Jurisdiction Planning and Zoning, Title 4, Zoning, Subtitle 2, Designation and Adoption, § 4-205 and Section 164-158.1 A. (1), of the City Zoning Ordinance, "...the Planning Director is authorized to grant administrative adjustments from the following requirements contained in this chapter:"

- (a) Local height requirements;
- (b) Local setback requirements;
- (c) Local bulk requirements;
- (d) Local parking requirements;
- (e) Local loading, dimensional, or area requirements; or
- (f) Similar local requirements.

The applicant's request would fall under Section 164-158.1 A. (f) "Similar local requirements".

IV. PROCESS

On July 14, 2003, the Mayor and Common Council adopted Resolution R-03-9 that contains Administrative Adjustment Procedures (Section 164-158.1 B.). Under section three D. of the procedures, "an applicant should understand that an administrative adjustment is an exception to the general requirements imposed under Chapter 164 and that its obtention is not a matter of right. An applicant bears the burden of persuasion and proof to justify the granting of an administrative adjustment". Under section five of the procedures, the Director may consider the factors set forth in Section 164-161.A.(3), originally related to the BZA variance requests. The Director shall not grant an administrative adjustment if to do so violates the spirit and intent of the requirements or cause or would be likely to cause substantial injury to the public health, safety and general welfare.

V. PROPOSAL

An application by WCA North LLC, represented by Christine DiSalvo from Maryland Financial Investors Inc, requesting approval of an Administrative Adjustment for 245 Baltimore Boulevard Westminster, Maryland 21157 (SDAT# 07-025750) to Zoning Ordinance Sections 164-121.5.A. to permit a wall sign larger than 125 square feet for the Sprouts Grocery Store.

In evaluating the requested Administrative Adjustment, the Director may consider the factors set forth in Section 164-161A.(3), as follows:

1. There are exceptional or extraordinary circumstances or conditions applying to the Property in question or to the intended use of the Property that do not apply generally to other properties or classes of uses in the same zone;

Applicant's Response: "Visibility is a vital requirement for a retail shopping center; poor visibility can be a significant contributor to the failure of a center. Westminster Station is situated at a substantially lower elevation than Baltimore Boulevard. As a result, the pylon sign sits at the bottom of the grade change, making it more difficult for drivers to see the tenant names. Permitting Sprouts to install its prototypical signage on its façade will improve visibility from the road by allowing for immediate recognition of the store, improving safety for drivers intending to visit the shopping center.

Additionally, Westminster Station is a newly constructed shopping center. Very little new retail space has been constructed over the last several years, and Westminster Station serves as a unique opportunity for new businesses looking to move into the Westminster market. Tenants' needs and consumers' preferences have changed over time to prefer smaller-scale, service-oriented shopping centers. Despite these changes, the anchor tenant continues to serve the same purpose to the shopping center and the surrounding community. The strength and viability of an anchor tenant is critical to the success of the overall shopping center, and by extension, each individual business operating within the shopping center. As the anchor tenant, it is a crucial aspect of Sprouts' operations to display its prototypical signage to foster brand recognition and drive traffic to the site. Westminster's zoning code does not take into account the changing nature of retail development and the vital necessity for appropriate signage for anchor tenants."

Staff's Response: Staff agrees that Westminster Station Shopping Center - Phase II is a regional shopping center. Sprouts is the anchor of this shopping center making up over 48 percent of the total square footage. The request is comparable to what is permitted in the Planned Regional Shopping Center (PRSC) zone for an anchor department store, which allows one flat wall sign not to exceed 150 square feet or 200 square feet, depending on the square footage of the store, at each major entrance into the store. The front façade of the Sprouts building sits approximately 155 feet from the right-of-way of Baltimore Boulevard (MD Route 140).

2. Such variance [administrative adjustment] is necessary for the preservation and enjoyment of substantial Property rights possessed by other properties in the same zone and in the same vicinity; and

Applicant's Response: "As the anchor tenant, Sprouts relies on the immediate recognition of prototypical signage at each of its locations to drive business and bring in customers. Numerous anchor tenants in neighboring shopping centers within the City of Westminster display prototypical signage in sizes consistent with such tenants' other locations outside of Westminster. These tenants benefit from the recognition and familiarity of standardized signage from store to store. Sprouts operates more than 350 specialty supermarkets nationwide, and imposing more restrictive signage requirements than Sprouts' prototype would cause operational and branding concerns. Furthermore, Sprouts is relatively new to the region and would

face a competitive disadvantage relative to its more recognizable peers who have larger signs. Overall, Westminster Station would be disadvantaged if Sprouts were not permitted to install its prototypical signage.”

Staff’s Response: Staff agrees that Westminster Station Shopping Center - Phase II is a regional shopping center. Sprouts is the anchor of this shopping center making up over 48 percent of the total square footage. The request is comparable to what is permitted in the PRSC zone for an anchor department store, which allows one flat wall sign not to exceed 150 square feet or 200 square feet, depending on the square footage of the store, at each major entrance into the store. While the sign box is approximately 197.82 square feet, the square footage of the boxed letters is approximately 144.125 square feet.

3. The authorizing of such variance [administrative adjustment] will not be of substantial detriment to adjacent properties and will not materially impair the purpose of this chapter or the public interest.

Applicant’s Response: “There will be no detrimental effect on adjacent properties as a result of the administrative adjustment. In fact, a specialized, high-quality national tenant such as Sprouts will bring revenue to the City of Westminster by drawing customers to the area from surrounding neighborhoods and bringing Carroll County residents to the City. Due to the unique products and services offered by Sprouts, it serves as a retail shopping destination, pulling customers from a wide radius. Furthermore, a strong anchor such as Sprouts will draw higher-quality tenants for the remaining spaces in the shopping center, resulting in a vibrant, successful neighborhood center.”

Staff’s Response: Staff agrees that Westminster Station Shopping Center - Phase II is a regional shopping center. Sprouts is the anchor of this shopping center making up over 48 percent of the total square footage. The request is comparable to what is permitted in the PRSC zone for an anchor department store. The proposed sign is a flat wall sign positioned over the entrance to Sprouts and meets all requirements of Article XVII, Signs, Section 164-119, General regulations.

VI. FINDINGS OF FACTS AND CONCLUSIONS OF LAW

Staff recommends that the Director consider the following as findings of fact and conclusions of law:

- Westminster Station Shopping Center - Phase II is a regional shopping center.
- Westminster Station Shopping Center - Phase is approximately 36,762 square feet.
- Sprouts is the major anchor of Westminster Station Shopping Center – Phase II.
- Sprouts is approximately 17,838 square feet in size.
- Sprouts is approximately 48.5% of the total square footage of the Westminster Station Shopping Center - Phase II.

- The City of Westminster measures signs according to their sign box. The box is larger than the actual square footage of the lettering of the sign.
- The authorizing of the administrative adjustments will not be of substantial detriment to adjacent properties and will not materially impair the purpose of this chapter or the public interest.
- The Planned Regional Shopping Center zone allows an anchor department store one flat wall sign not to exceed 150 square feet or 200 square feet, depending on the square footage of the store, at each main entrance into the store.

This same logic would not work with a shopping center that is not a regional shopping center or with a tenant that has less square footage or makes up a smaller percentage of the overall shopping center's square footage.

VII. DECISION

Under section five of the procedures, "subsequent to the conduct of a hearing, the Director shall decide the issue(s) raised by the application. The decision shall be in writing and provide a brief explanation of the law and facts which support it. In evaluating the application, the Director may consider the factors set forth in Section 164-161 A(3). In making a decision, the Director may grant the administrative adjustment in cases where the strict compliance with Chapter 164 would result in practical difficulty or unreasonable hardship which has not been caused by the applicant. The Director shall not grant an administrative adjustment if to do so violates the spirit and intent of the requirements or cause or would be likely to cause substantial injury to the public health, safety and general welfare.

VIII. RECOMMENDATION

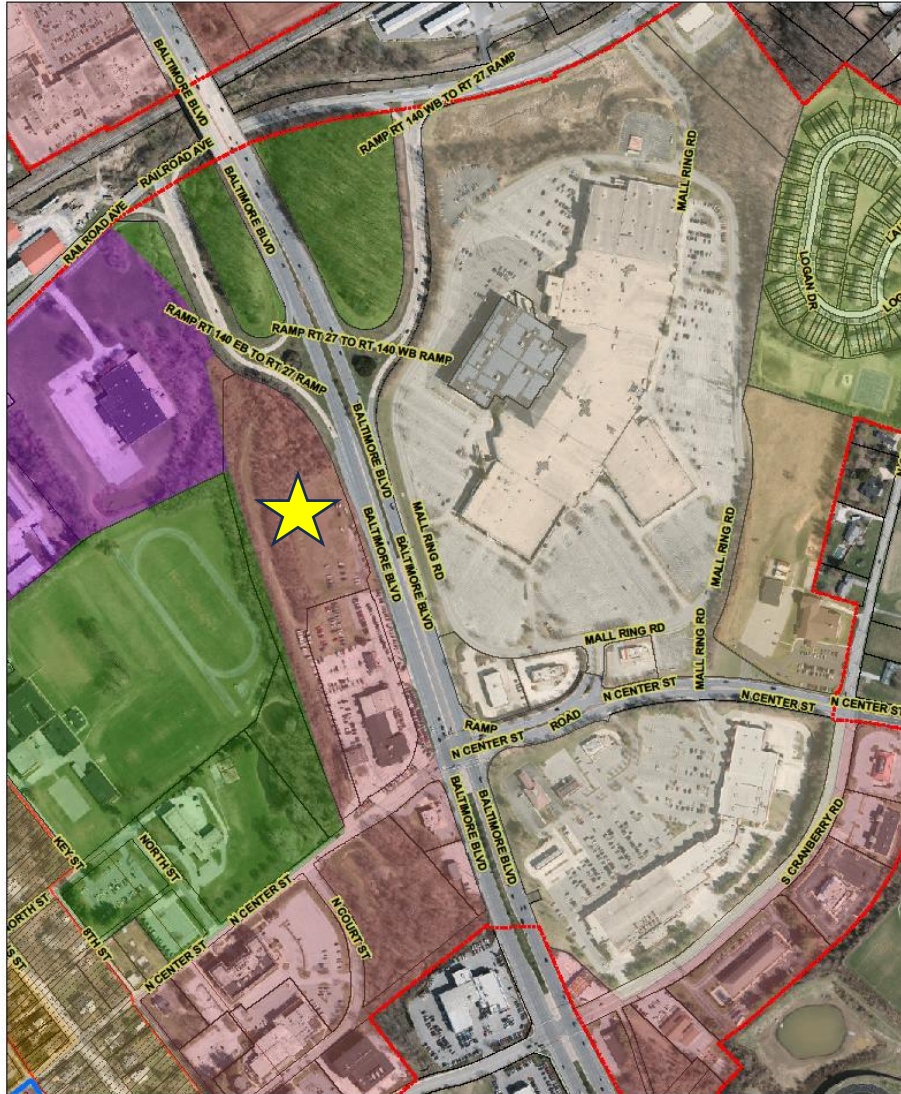
Staff recommends approval of the proposed Administrative Adjustment, per § 164-158.1 of the City Code, based on the application and on the findings of facts and conclusions of law provided in this report.

IX. ATTACHMENTS

1. Resolution No. R-03-9
2. Site Location Aerial Map
3. Site Plan SS-22-16
4. Administrative Adjustment Application
5. Sign Permit Application

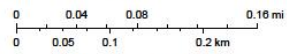
SITE LOCATION AERIAL MAP

Sprouts



June 6, 2024

1:4,514



Planning Dept, GIS Dept, Jeremy Brown, Planning Dept,
GIS Dept, MD IMAP, DoT, Maxar

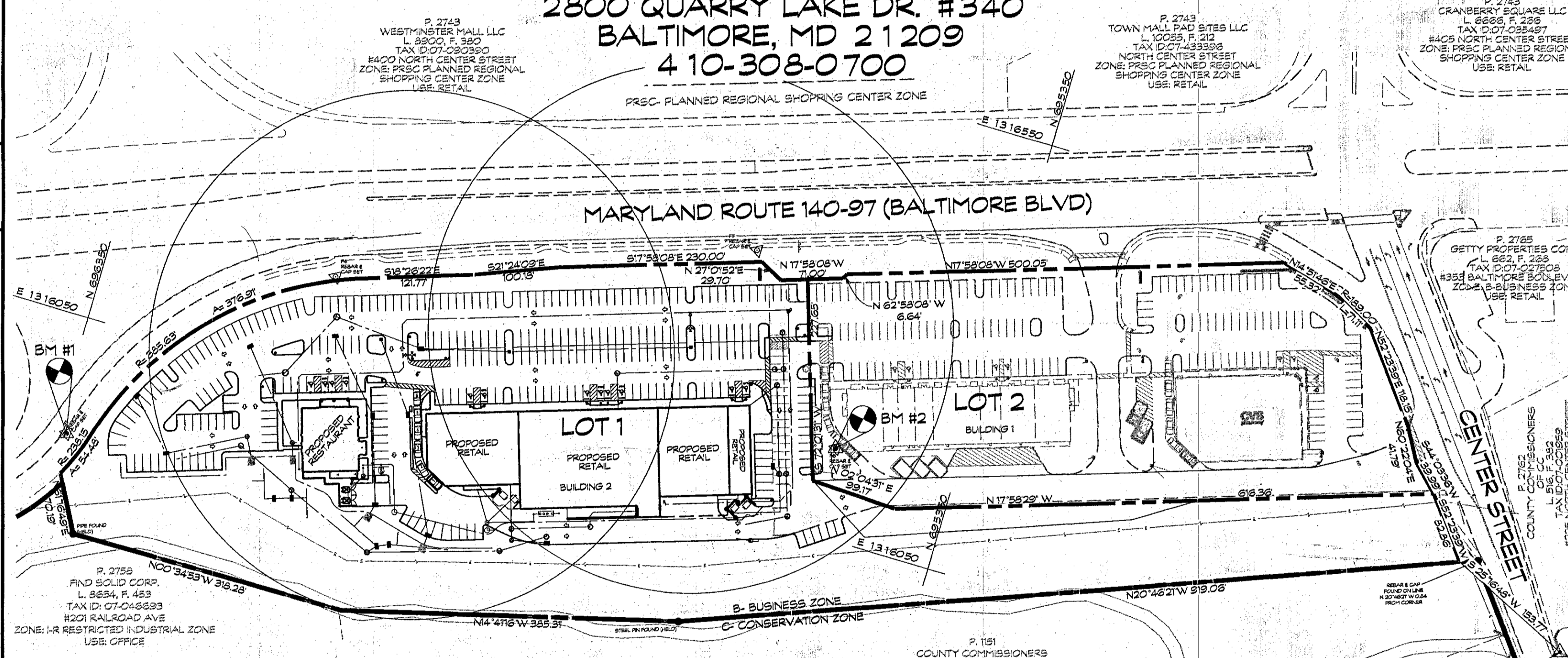
GENERAL NOTES:

- EXISTING ZONING: B BUSINESS ZONE (CITY OF WESTMINSTER)
- PROPOSED USE: RETAIL AND RESTAURANT
- TOTAL AREA OF SITE: 5.3380 AC
- TOTAL DEVELOPED AREA: 5.2086 AC
- THE PROPERTY SHOWN HEREON IS OWNED BY:
OWNER: WESTMINSTER CENTER ASSOCIATES, LLC
DEED REFERENCE: L 8889, P. 25
DATE: DECEMBER 22, 2011
GRANTOR: ONE FORTY CORPORATION
- TAX MAP: 105, BLOCKS: 14, PARCEL: 2759
- TOPOGRAPHY SHOWN HEREON IS AN ACTUAL FIELD RUN SURVEY BY CLSI ON FEBRUARY 17, 2021
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TRAFFIC ON ANY EXISTING ROADS.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK AS SHOWN ON THESE DRAWINGS:
BALTIMORE GAS & ELECTRIC..... 4 10-234-8313
BUREAU OF RESOURCE MANAGEMENT..... 4 10-366-2306
VERIZON..... 4 10-878-3905
CITY OF WESTMINSTER..... 4 10-848-3000
- ALL UTILITIES SHALL BE CLEARED BY A MINIMUM OF 18" ALL UTILITY POLES SHALL BE CLEARED BY A MINIMUM OF 20' OR TUNNELED IF REQUIRED.
- CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITY SERVICES WITHOUT WRITTEN PERMISSION FROM THE OWNER OF THE UTILITY.
- A SITE PLAN SHALL BECOME NULL AND VOID AFTER ONE YEAR FROM THE DATE OF APPROVAL, UNLESS A BUILDING PERMIT HAS BEEN ISSUED AND SUBSTANTIAL WORK HAS BEGUN ON THE PROJECT.
- XERSCAPING IS BEING USED FOR THIS SITE, SINCE NO IRRIGATION SYSTEM IS BEING USED. OVER 40% OF NATIVE PLANTS ARE BEING USED ON-SITE AND MULCH WILL BE USED REGULARLY AROUND ISLAND PLANTING AREAS.
- BUILDING UNITS WILL CONTAIN WATER CONSERVING AND ENERGY STAR FEATURES AS PROVIDED BY DEVELOPMENT DESIGN PREFERENCE MANUAL. SEE ACTUAL ARCHITECTURAL PLANS FOR DETAILS.
- THIS SITE WILL CONTAIN WATER CONSERVING AND ENERGY STAR FEATURES AS STIPULATED BY THE 2016 CITY OF WESTMINSTER DEVELOPMENT DESIGN PREFERENCES MANUAL.
- A "STORMWATER MANAGEMENT EASEMENT AND MAINTENANCE AGREEMENT" IS TO BE GRANTED TO THE MAYOR AND COMMON COUNCIL OF WESTMINSTER AS AN EASEMENT OF ACCESS TO THE MAYOR AND COMMON COUNCIL OR AUTHORIZED REPRESENTATIVES BY A DEED TO BE RECORDED SIMULTANEOUSLY HERewith.
- THIS PROJECT WILL IMPLEMENT EPA'S BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION.
- THE SITE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE MARYLAND ACCESSIBILITY CODE, COMAR 09.12.53, AS WELL AS THE 2010 ADA STANDARDS OF THE ACCESSIBILITY DESIGN (DEPARTMENT OF JUSTICE). A FOUR (4) INSPECTION IS REQUIRED ON ALL ACCESSIBLE ROUTES/RAMP/SURFS RAMP PRIOR TO PLACEMENT OF FINAL MATERIAL. SLOPES OF RAMP/SURFS AND CURB RAMP/SURFS SHALL COMPLY WITH THE AFOREMENTIONED REGULATIONS/STANDARDS. CONTRACTOR TO COORDINATE WITH COUNTY INSPECTOR.

AMENDED SITE PLAN for WESTMINSTER STATION

CITY OF WESTMINSTER
7th Election District * Carroll County, Maryland
Tax Map: 105 * Block: 14 * Parcel: 2759 * Recorded Plat: Pb. 55, Pg. 277

OWNER / DEVELOPER
WESTMINSTER CENTER ASSOCIATES LLLP
BY: WESTMINSTER CENTER, LLC, ITS GENERAL PARTNER
2800 QUARRY LAKE DR. #340
BALTIMORE, MD 21209
4 10-308-0700



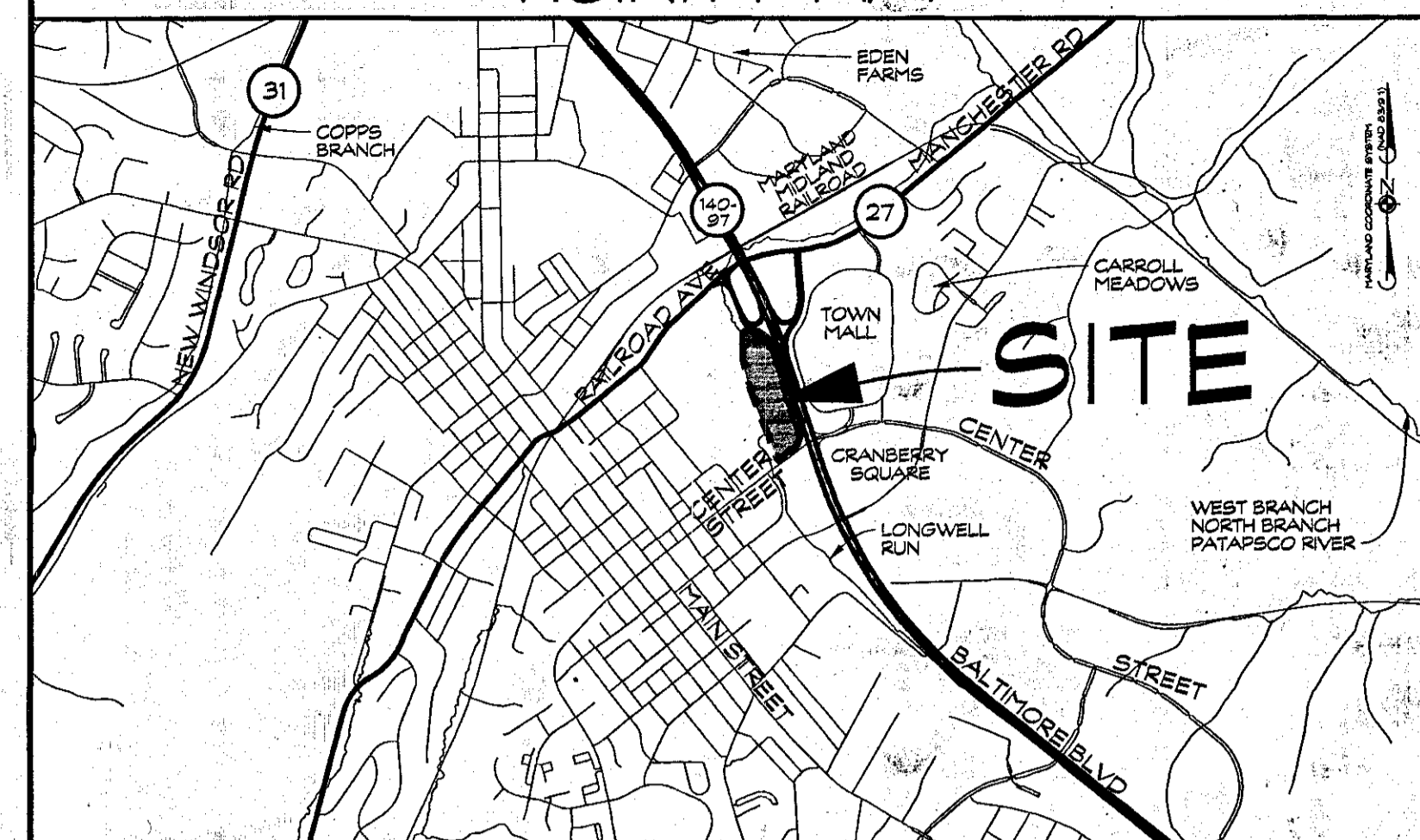
PARKING TABULATIONS		WATER DEMAND & METER INFORMATION	
(PLANNED COMMERCIAL CENTER) REQUIRED: 5.5 SPACES FOR EVERY 1000 SQ. FT. OF FLOOR AREA	PHASE 1 REQUIRED SPACES: 163.3 PHASE 2 REQUIRED SPACES: 239.0 EXISTING PHASE 1 SPACES: 151 SPACES PROPOSED PHASE 2 SPACES: 237 SPACES TOTAL REQUIRED: 402.3	1. ESTIMATED WATER USAGE: 7,506 GPD	2. SIZE INTERNAL WATER METER: 2"
EXISTING PHASE 1: CVS: 13,281 SF BUILDING 1a: 16,400 SF TOTAL: 29,681 SF	TOTAL PROVIDED: 448.0 [HANDICAPPED SPACES REQUIRED: 9 SPACES] [HANDICAPPED SPACES EXISTING: 8 SPACES] [VAN ACCESSIBLE SPACES REQUIRED: 5 SPACES] [VAN ACCESSIBLE SPACES EXISTING: 7 SPACES] [VAN ACCESSIBLE SPACES PROPOSED: 6 SPACES]	3. SIZE OF SPRINKLER CONNECTION: N/A	4. NUMBER OF PRIVATE FIRE HYDRANTS: 2
PROPOSED PHASE 2: BUILDING 2a: 36,517 SF RESTAURANT: 4,236 SF TOTAL: 40,753 SF		NOTE: WATER METER WILL BE INSTALLED INTERNALLY, WITH EXTERIOR READER.	

PROJECT CERTIFICATIONS		
ENGINEER'S CERTIFICATION I CERTIFY THAT THIS PLAN OF SEDIMENT CONTROL IS DESIGNED WITH MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND HAS BEEN DESIGNED TO THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CARROLL SOIL CONSERVATION DISTRICT. APPROVED: <i>Brian E. Wagner</i> DATE: 7/19/22 Professional Engineer Registration No. 51063	ENGINEER'S CERTIFICATION I HEREBY CERTIFY THAT THESE CONSTRUCTION DRAWINGS AND ASSOCIATED COMPUTATIONS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND COMPLY WITH ALL APPLICABLE STANDARDS AND REGULATIONS OF THE CITY OF WESTMINSTER. I HAVE REVIEWED THESE DOCUMENTS WITH THE OWNER/DEVELOPER. BRIAN E. WAGNER NAME (PRINTED) MARYLAND REGISTRATION NUMBER: No. 51063 SIGNATURE: <i>Brian E. Wagner</i> DATE: 7/19/22	OWNER/DEVELOPER CERTIFICATION I CERTIFY THAT THIS PLAN OF SOIL EROSION & SEDIMENT CONTROL WILL BE IMPLEMENTED TO THE FULLEST EXTENT, AND ALL STRUCTURES WILL BE INSTALLED TO THE DESIGN AND SPECIFICATIONS AS SPECIFIED OUT IN THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION & SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE EVALUATION BY THE CARROLL SOIL CONSERVATION DISTRICT PERSONNEL AND COOPERATING AGENCIES. WESTMINSTER CENTER ASSOCIATES LLLP, BY: WESTMINSTER CENTER, LLC, ITS GENERAL PARTNER <i>Michael A. Albo</i> , Vice President NAME (PRINTED) DATE: 7/19/22 WESTMINSTER CENTER ASSOCIATES LLLP PRINTED NAME OF OWNER/DEVELOPER Westminster Center Associates LLLP 410-308-0700 OWNER/DEVELOPER COMPANY NAME DEVELOPER PHONE NUMBER



439 East Main Street Westminister, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

VICINITY MAP SCALE: 1" = 2000'



LIST OF DRAWINGS

- TITLE SHEET
 - DEMOLITION PLAN
 - LAYOUT PLAN
 - GEOMETRIC PLAN
 - SEDIMENT CONTROL PLAN
 - SEDIMENT CONTROL NOTES & DETAILS
 - GRADING PLAN
 - STORMWATER MANAGEMENT PLAN AND PROFILES
 - STORMWATER MANAGEMENT NOTES AND DETAILS
 - STORM DRAIN PROFILES
 - STORM DRAIN PROFILES
 - STORM DRAIN TABULATIONS AND STRUCTURE SCHEDULE
 - STORM DRAIN DRAINAGE AREA MAP
 - WATER AND SEWER PLAN
 - WATER PROFILES
 - SEWER PROFILES
 - STANDARD WATER DETAILS
 - STANDARD SEWER DETAILS
 - MISCELLANEOUS DETAILS
 - RETAINING WALL PROFILE, SECTION, & MISCELLANEOUS DETAILS
 - FINAL LANDSCAPE PLAN
 - LANDSCAPE NOTES & DETAILS
 - LIGHTING PLAN AND DETAILS
 - BUILDING ELEVATIONS- OPTION A
 - BUILDING ELEVATIONS- OPTION B
 - BUILDING ELEVATIONS & PYLON SIGN DETAILS
 - OUTBACK STEAKHOUSE DETAILS
- NOTE: FORESTRY WAS PREVIOUSLY HANDLED UNDER COUNTY FILE #S-18-0008

OWNER/DEVELOPER CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS HAS BEEN REVIEWED BY ME/US AND THAT I/WE FULLY UNDERSTAND WHAT IS NECESSARY TO ACCOMPLISH THIS WORK AND THAT THE WORK WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THESE PLANS. I/WE ALSO UNDERSTAND THAT ANY CHANGES TO THESE PLANS WILL REQUIRE AN AMENDED PLAN TO BE REVIEWED AND APPROVED BY THE CITY OF WESTMINSTER PLANNING AND ZONING COMMISSION BEFORE ANY CHANGE IN THE WORK IS MADE. PUBLIC WATER AND PUBLIC SEWER WILL BE AVAILABLE TO ALL LOTS OFFERED FOR SALE.

Westminister Center Associates LLLP
OWNER/DEVELOPER COMPANY NAME
Michael A. Albo, Vice President of Westminister Center, LLC, the general partner of Westminister Center Assoc. 7/19/22
NAME(S) PRINTED
Westminister Center Associates LLLP
By: Westminister Center, LLC, its general partner
Michael A. Albo, Vice President 7/19/22
SIGNED DATE

BENCHMARKS:

- B.M. #1 N 696336.7490, E 1315917.2600, ELEV. 731.88
CLSI PT # F1 REBAR AND CAP SET
- B.M. #2 N 695489.7650, E 1316150.9740, ELEV. 744.76
CLSI PT # F6 REBAR AND CAP SET

TITLE SHEET
AMENDED SITE PLAN
for
WESTMINSTER STATION

CITY OF WESTMINSTER
7th Election District * Carroll County, Maryland
Tax Map: 105 * Block: 14 * Parcel: 2759 * Recorded Plat: Pb. 55, Pg. 277

		<p>OWNER / DEVELOPER WESTMINSTER CENTER ASSOCIATES LLLP BY: WESTMINSTER CENTER, LLC, ITS GENERAL PARTNER 2800 QUARRY LAKE DR. #340 BALTIMORE, MD 21209 4 10-308-0700</p>
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DATE	REVISIONS	DATE
		JULY, 2022
		CARROLL COUNTY FILE NO.: S-21-0016
		JOB NO.: 2018102F
		SHEET: 1 OF 28

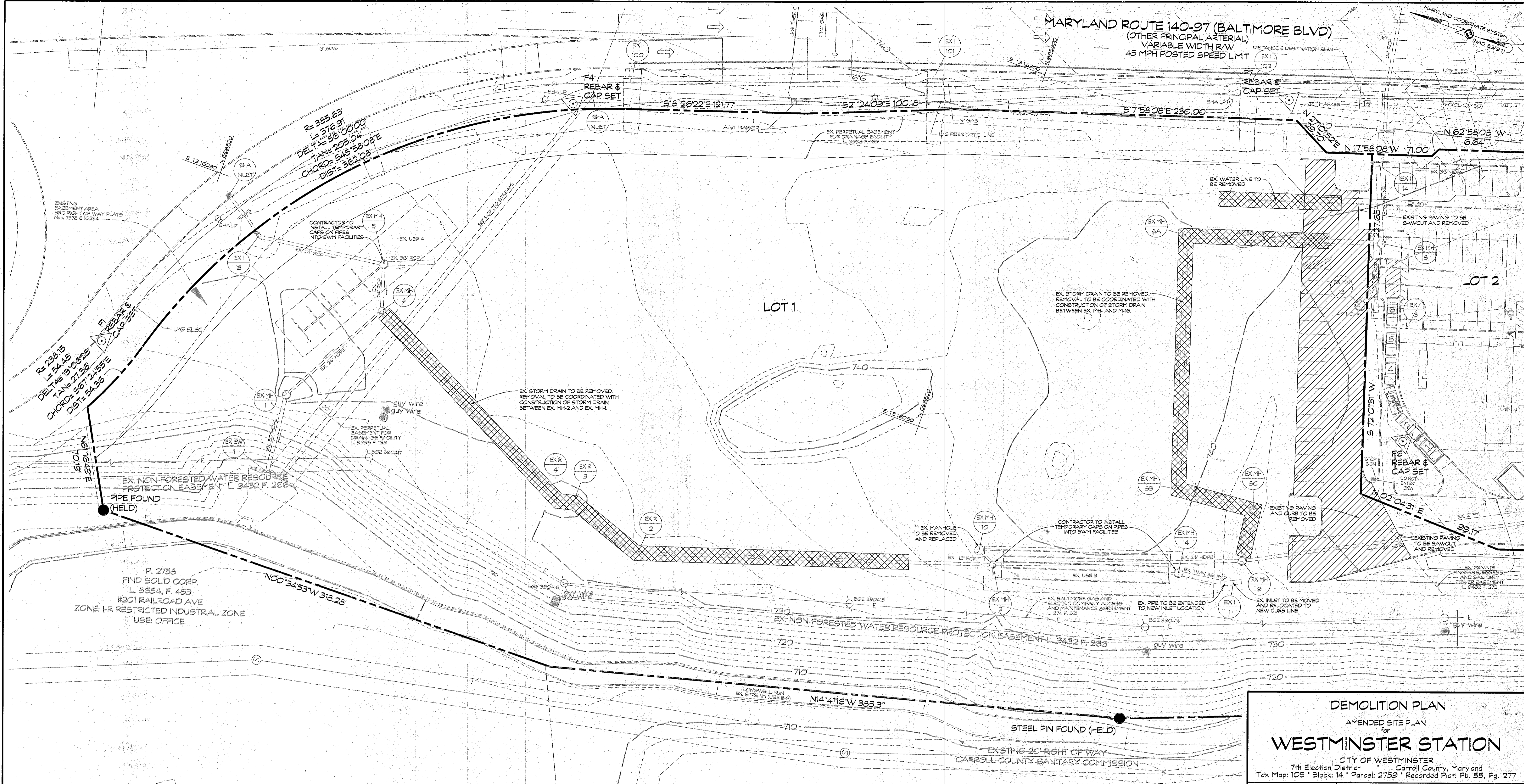
CITY OF WESTMINSTER GENERAL NOTES:

- THE CONSTRUCTION SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS FOR THE CITY OF WESTMINSTER. THIS WORK IS SUBJECT TO INSPECTION AND ACCEPTANCE BY THE CITY OF WESTMINSTER.
- THE CONTRACTOR SHALL HAVE A CURRENT COPY OF THE CITY OF WESTMINSTER 'STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITY SYSTEMS, ROADS AND STORM DRAINS' AVAILABLE TO HIM AT ALL TIMES DURING HIS OPERATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF WESTMINSTER DEPARTMENT OF PUBLIC WORKS AT 410-848-2582 AT LEAST 5 DAYS IN ADVANCE OF STARTING CONSTRUCTION AND SHALL NOT INTERRUPT EXISTING WATER OR SEWER SERVICE WITHOUT FIRST OBTAINING PERMISSION FROM THE DEPARTMENT.
- THE CONTRACTOR SHALL NOTIFY HIS ENGINEER WHEN PROPOSING FIELD ADJUSTMENTS TO THE TYPE, SIZE, OR LOCATION OF THE INSTALLATIONS SPECIFICALLY SHOWN ON THE PLAN. THE CONTRACTOR SHALL OBTAIN FINAL APPROVAL FROM THE CITY INSPECTOR PRIOR TO COMMENCING WORK ON ALL FIELD CHANGES.
- THE CONTRACTOR SHALL PROVIDE A CERTIFIED SOILS COMPACTION TECHNICIAN ON SITE AT ALL TIMES DURING FILLING AND BACK FILLING OPERATIONS TO CONTINUOUSLY MONITOR SOIL COMPACTION. TEST RESULTS SHALL BE PROVIDED TO THE CITY INSPECTOR UPON REQUEST.
- THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 1-800-257-7777 IN ADVANCE OF HIS CONSTRUCTION OPERATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL UTILITY OWNERS HAVE EXISTING LINES IN THE AREA ARE PROPERLY NOTICED.
- THE LOCATIONS OF EXISTING UTILITY LINES SHOWN IN THESE PLANS IS APPROXIMATE ONLY, AND THE CONTRACTOR MUST VERIFY THE LOCATIONS TO HIS OWN SATISFACTION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT AGAINST DAMAGE TO EXISTING LINES, AND SHALL BE SOLELY RESPONSIBLE FOR THE COST OF REPAIRS INCURRED BY HIS OPERATIONS.
- THE CONSTRUCTION LAYOUT DATUMS USED HEREIN ARE:
HORIZONTAL: MARYLAND STATE GRID SYSTEM (NAD 83)
VERTICAL: MARYLAND STATE GRID SYSTEM (NAVD 88)
- FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.

NOTE:
NO SIGN SHALL BE ERRECTED WHICH ILLUMINATES ROTATING, BLINKING, FLASHING OR FLUTTERING ILLUMINATION WHICH VARIES IN COLOR OR INTENSITY.

THIS SITE IS LOCATED WITHIN A WELLHEAD PROTECTION AREA. IF HAZARDOUS OR REGULATED SUBSTANCES ARE STORED ON-SITE, STORAGE WILL BE PROVIDED INSIDE THE BUILDING IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS INCLUDING THE CARROLL COUNTY WATER RESOURCES PLAN.

CITY OF WESTMINSTER, DIRECTOR OF COMMUNITY PLANNING AND DEVELOPMENT APPROVED: <i>Ma A Q</i> DATE: 9-20-22
CITY OF WESTMINSTER PLANNING AND ZONING COMMISSION APPROVED: <i>RUA</i> DATE: 9/12/22
CITY OF WESTMINSTER, DIRECTOR OF PUBLIC WORKS APPROVED: <i>John L...</i> DATE: 9/12/22
CARROLL COUNTY HEALTH DEPARTMENT APPROVED: <i>Andrea Hanley-MDH</i> DATE: Aug 18, 2022 Andrea Hanley-MDH (Aug 18, 2022 12:38 EDT)
COMMUNITY WATER AND/OR SEWAGE SYSTEMS ARE IN CONFORMANCE WITH THE CARROLL COUNTY MASTER PLAN FOR WATER AND SEWER
CARROLL SOIL CONSERVATION DISTRICT THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE CARROLL SOIL CONSERVATION DISTRICT. BY: <i>Brian Snyder</i> DATE: Aug 2, 2022 Brian Snyder (Aug 2, 2022 10:48 EDT)



DEMOLITION PLAN
 AMENDED SITE PLAN
 for
WESTMINSTER STATION
 CITY OF WESTMINSTER
 7th Election District Carroll County, Maryland
 Tax Map: 105 * Block: 14 * Parcel: 2759 * Recorded Plat: Pb. 55, Pg. 277

Brian E. Wagner, P.E.

439 East Main Street Westminster, MD 21157-5539
 (410) 843-1790 FAX (410) 843-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51083, EXPIRATION DATE: JUNE 7, 2023

CITY OF WESTMINSTER		
PROJECT NUMBER		
ROADS		
SEWER		
WATER		

Date	Revisions	Drawn By: JW
		Designed By: JW
		Reviewed By:
		Date: JULY, 2022
		Scale: 1"=30'
		Job No.: 2021028-111
		Sheet: 2 OF 28

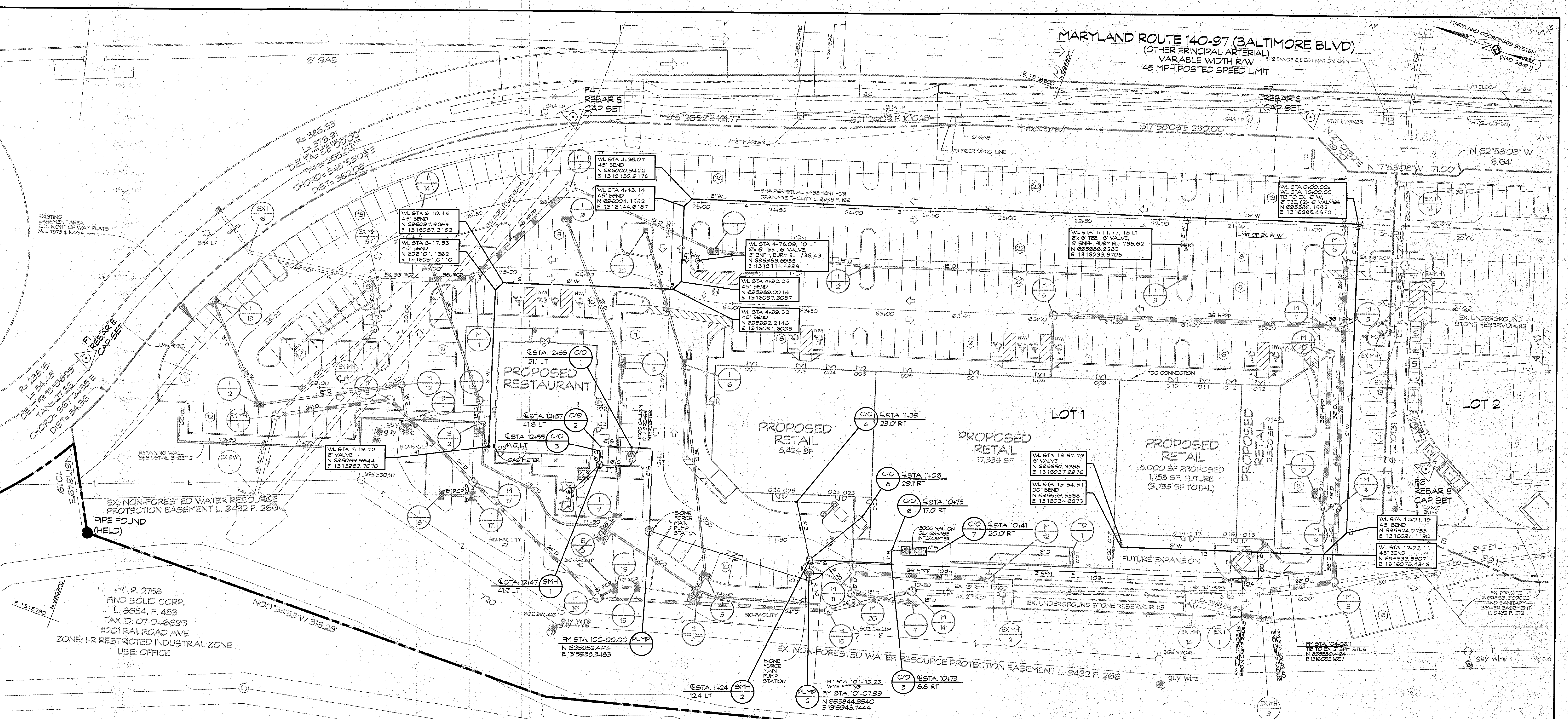
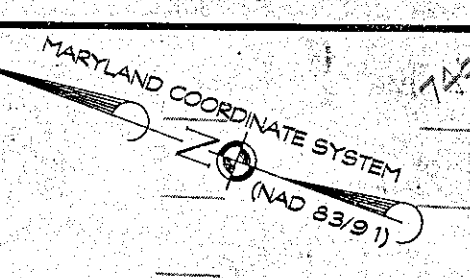
OWNER/DEVELOPER
 WESTMINSTER CENTER ASSOCIATES LLLP
 BY: WESTMINSTER CENTER, LLC,
 ITS GENERAL PARTNER
 2800 QUARRY LAKE DR. #340
 BALTIMORE, MD 21209
 410-308-0700

P. 151
 COUNTY COMMISSIONERS
 OF CARROLL COUNTY
 L. 12, F. 792
 PARCEL 2
 ZONE: C CONSERVATION ZONE
 USE: INSTITUTIONAL

P. 2753
 FIND SOLID CORP.
 L. 8654, F. 453
 #201 RAILROAD AVE
 ZONE: I-R RESTRICTED INDUSTRIAL ZONE
 USE: OFFICE

15250-02

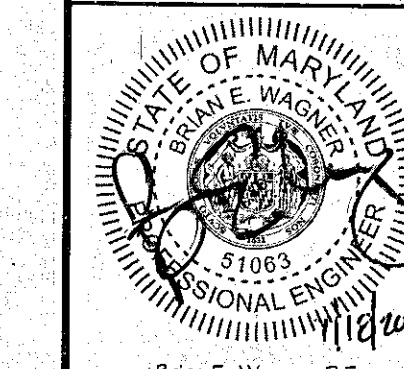
MARYLAND ROUTE 140-97 (BALTIMORE BLVD)
 (OTHER PRINCIPAL ARTERIAL)
 VARIABLE WIDTH R/W
 45 MPH POSTED SPEED LIMIT



P. 2758
 FIND SOLID CORP.
 L. 3654, F. 453
 TAX ID: 07-046693
 #201 RAILROAD AVE
 ZONE: I-R RESTRICTED INDUSTRIAL ZONE
 USE: OFFICE

P. 1151
 COUNTY COMMISSIONERS
 OF CARROLL COUNTY
 L. 12, F. 792
 TAX ID: 07-003439
 PARCEL 2
 ZONE: C CONSERVATION ZONE
 USE: INSTITUTIONAL

WATER AND SEWER PLAN
 AMENDED SITE PLAN
 for
WESTMINSTER STATION
 CITY OF WESTMINSTER
 7th Election District Carroll County, Maryland
 Tax Map: 105 * Block: 14 * Parcel: 2759 * Recorded Plat: P. 55, Pg. 277

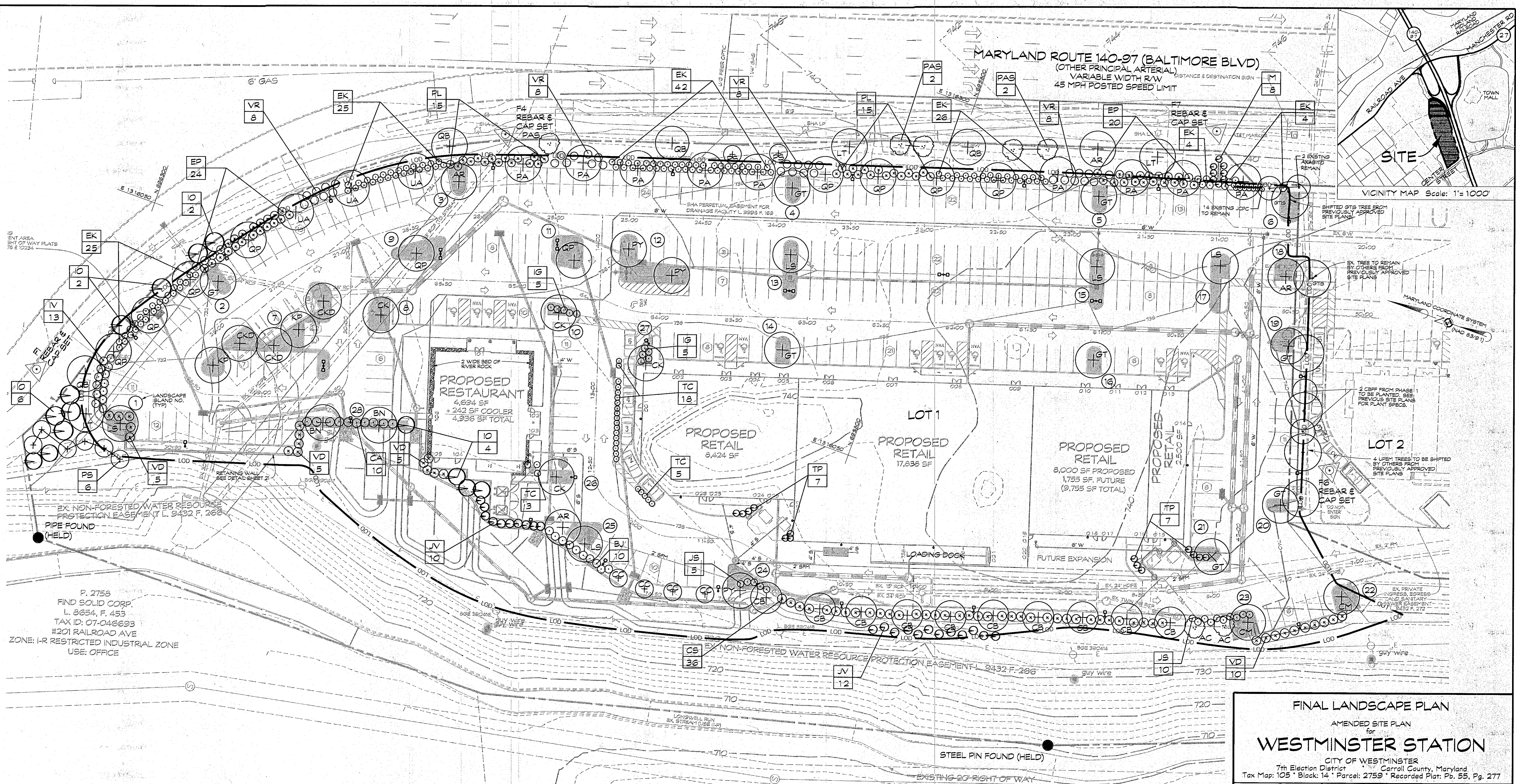


439 East Main Street Westminister, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51083, EXPIRATION DATE: JUNE 7, 2023

CITY OF WESTMINSTER PROJECT NUMBER		
ROADS	SEWER	
Date	Revisions	Drawn By: JW
		Designed By: JW
		Reviewed By:
		Date: JULY, 2022
		Scale: 1" = 30'
		Job No.: 2019102F
		Sheet: 15 OF 28

OWNER/DEVELOPER
 WESTMINSTER CENTER
 ASSOCIATES LLLP
 BY: WESTMINSTER CENTER, LLC,
 ITS GENERAL PARTNER
 2800 QUARRY LAKE DR. #340
 BALTIMORE, MD 21209
 410-308-0700



P. 2758
 FIND SOLID CORP.
 L. 8654, F. 453
 TAX ID: 07-046693
 #201 RAILROAD AVE
 ZONE: I-R RESTRICTED INDUSTRIAL ZONE
 USE: OFFICE

P. 1151
 COUNTY COMMISSIONERS
 OF CARROLL COUNTY
 L. 12, F. 792
 TAX ID: 07-003439
 PARCEL 2
 ZONE: C CONSERVATION ZONE
 USE: INSTITUTIONAL

NOTE:
 LANDSCAPING PLANT MATERIAL IS COMPRISED OF
 OVER 50% OF NATIVE ADAPTIVE SPECIES FOR THIS
 PROJECT.

NOTE:
 LANDSCAPING PLANT MATERIAL WILL BE
 APPROPRIATE TO THE SITE'S SOIL TYPE
 AND MICRO-CLIMATE, AND NONE OF THE
 PLANTS WILL BE INVASIVE SPECIES.

LANDSCAPE PLAN CERTIFICATION

I CERTIFY THAT THIS LANDSCAPE PLAN IS CONSISTENT WITH THE GOAL AND INTENT OF AND COMPLIES WITH THE CITY OF WESTMINSTER LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICIES, GUIDELINES AND ORDINANCES.

Lloyd B. Martin 07/15/2022
 Lloyd Brown Martin Jr. Landscape Architect Registration No. 2000220 DATE

I CERTIFY THAT THIS LANDSCAPE PLAN IS CONSISTENT WITH THE GOAL AND INTENT OF AND COMPLIES WITH THE CITY OF WESTMINSTER LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICIES, GUIDELINES AND ORDINANCES AND AGREE TO IMPLEMENT THE FINAL LANDSCAPE PLAN SHOWN HEREIN WITHIN ONE YEAR OF OCCUPANCY.

Westminster Center Associates, LLC By: *Westminster Center, LLC*
 its general partner
 DATE 7/19/22

SIGNATURE OF OWNER DATE

2800 Quarry Lake Dr., Ste 340
 Baltimore, MD 21209
 ADDRESS

LIMIT OF DISTURBANCE: 226,886 SF. or 5.2086 AC.

FOR LANDSCAPE ISLAND AREAS SEE SHEET 23.

THIS SITE WILL CONTAIN WATER CONSERVING AND ENERGY STAR FEATURES AS STIPULATED BY THE 2016 CITY OF WESTMINSTER DEVELOPMENT DESIGN PREFERENCES MANUAL.

NOTE:
 LANDSCAPING SHALL NOT AFFECT UNDERGROUND UTILITIES AND THAT ANY CHANGES TO THE LOCATION OR TYPE OF ANY PLANTINGS WILL REQUIRE A SITE PLAN TO BE REVISED AND APPROVED BY THE CITY OF WESTMINSTER.

OWNER/DEVELOPER
 WESTMINSTER CENTER ASSOCIATES LLLP
 BY: WESTMINSTER CENTER, LLC,
 ITS GENERAL PARTNER
 2800 QUARRY LAKE DR. #340
 BALTIMORE, MD 21209
 410-308-0700

FINAL LANDSCAPE PLAN
 AMENDED SITE PLAN
 for
WESTMINSTER STATION
 CITY OF WESTMINSTER
 7th Election District Carroll County, Maryland
 Tax Map: 105 * Block: 14 * Parcel: 2759 * Recorded Plat: Pb. 55, Pg. 277

LANDSCAPE ARCHITECT
 200020
 Lloyd Brown Martin Jr.
 STATE OF MARYLAND
 Landscape Architect Registration No. 2000220
 7/15/22

Engineers • Surveyors
CLSI
 www.clsi-civileng.com
 Land Planning & Environmental Consultants
 439 East Main Street Westminister, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791

CITY OF WESTMINSTER PROJECT NUMBER		CORPORATION OF WESTMINSTER
ROADS	SEWER	
WATER		
Date	Revisions	Drawn By: JW
		Designed By: JW
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		Date: JULY, 2022
		Scale: 1" = 30'
		Job No.: 202102F
		Sheet: 22 OF 28

13250-22

LANDSCAPE PLANTING SPECIFICATIONS

GENERAL

Plant materials shall conform to American Standard for Nursery Stock sponsored by American Association of Nurserymen, Inc.

Plants shall be subject to inspection by the Carroll County Office of Landscape & Forest Conservation for quality, size, color, and true to species. Plants lacking compactness or proper proportions, plants which are weak or thin, and plants which are not the species or variety called for in the plan set will not be accepted. Right is reserved to reject plants considered unsatisfactory. Rejected plants shall be removed from the site and replaced with plants specified. Pruning plants prior to delivery shall be prohibited.

Substitutions will not be permitted without the consent of the Carroll County Office of Landscape & Forest Conservation. If proof is submitted that specific plants or sizes are unavailable, proposals will be considered for the nearest equivalent size or variety with equitable adjustment to the contract price.

Plants shall have normal, well developed branches and vigorous fibrous root system. They shall be healthy, vigorous plants free from defect, decay, damaged roots, sun scald injuries, abrasions on the bark, plant diseases, insect pests, eggs, borers, and forms of infestation and objectionable defilements.

Plants shall be nursery grown unless otherwise specifically permitted in each instance and shall have been growing under similar climatic conditions as the location of the project for at least 2 years prior to the date of the planting contract.

REFERENCES

1. All plants shall be identified in accordance with Hortus Third edition, by L.H. Bailey, 1976 or its latest edition.
2. All nursery stock shall conform to the American Association of Nurserymen, Inc. Standards for Nursery Stock, publication ANSI Z601-2014 or its latest edition.
3. Landscape specifications shall conform to the Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area developed by Landscape Contractors Association, MD-DC-VA 2014 edition or latest edition.

PLANTING PROCEDURES

Plants shall be freshly dug at time of delivery.

Balled and burlapped plants shall be dug with solid balls of adequate size, the balls securely wrapped with burlap or canvas, tightly bound with rope or wire.

The Planting Seasons for plant material shall be as follows:

Deciduous Trees and Shrubs:	October 15	thru	December 15
	April 1		thru May 15
Evergreen Trees, Shrubs and Vines:	September 1	thru	November 15
	April 1		thru May 15

At the option and full responsibility of the Contractor, planting operations may be conducted under unreasonable conditions without additional compensation.

Planting and backfill mix shall consist of 3 parts excavated soil, 1 part humus.

Reasonable care shall be exercised to have pits dug and soil prepared prior to moving plants on site for planting to ensure that they will not be unnecessarily exposed to drying elements or physical damage. Size of pits shall be 1 1/2 to 2 times the diameter of the root ball and the root ball shall be elevated 1/3 height of the root ball above the ground to allow for drainage. A broad mound of soil shall be left around the base to enclose the elevation to blend into the site.

Ground cover areas shall be prepared as specified before. Plant ground cover to within 1'-0" of tree trunks or shrubs.

Plant holes shall be backfilled with soil mix specified above placed in layers around the roots of ball. Each layer shall be carefully tamped to avoid injury to plants and roots. When holes are approximately two-thirds full, the hole shall be filled with water and soils allowed to settle around the roots. After the water has been absorbed the hole shall be filled with backfill mix and lightly tamped. Berms, 3' in height shall then be formed around the hole as shown on the planting details.

All planting beds shall be mulched with peat moss and/or finely shredded and composted bark as follows:

Ground cover beds shall be mulched after planting to a depth of 1 inch. Other plants shall be mulched after planting to a depth of 2 inches.

Mulch shall be applied immediately after planting to retain moisture. Rake surface smooth and even, then soak full depth of mulch thoroughly.

Trees shall be staked and wrapped according to the following:

Wire shall be 12 gauge annealed galvanized. Hose shall be 1/2" diameter, 2-ply reinforced hose. Stakes shall be sound uniform 2" x 2" redwood or oak, length as shown.

Landscape specifications shall conform to the current edition of the Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area, developed by the Landscape Contractors Association, MD-DC-VA. All Nursery stock shall be planted in accordance with the procedures outlined in the guidelines with the following exceptions:

- a. If the soil is wet or compacted, all containerized and balled nursery stock should be planted such that the top one-third of the rootball is above the existing grade. This departure in the established procedures has been documented to increase the rate of transplant success in these types of soils.
- b. Wire and nondegradable materials should be removed as far as practical before backfilling to prevent root girdling.

MAINTENANCE AND REPLACEMENT

Maintenance of plant material shall begin when project commences and continue until the final inspection and acceptance. Planting maintenance shall include all necessary watering, cultivation, weeding, pruning, wound dressing, disease and insect pest control, protective spraying, replacement of unacceptable material, straightening plants which lean or sag, adjustment of plants which settle or are planted too low, and any other procedure consistent with good horticultural practices necessary to insure normal, vigorous, and healthy growth of all work under this contract.

Contractor shall be responsible for the use of all materials, labor and equipment, and any injury to plant material caused by such material, labor, and equipment shall be corrected and repaired by the Contractor at no additional expense to the Owner.

A proving period shall follow the completion of all planting for one year. All plant material found to be unsatisfactory during the proving period shall be replaced by the Contractor, at no additional expense to the Owner. All replacement shall have a one year proving period and shall be installed in accordance with the planting times and specifications specified above.

TREE PROTECTION NOTES

1. Upon notification of County approval of the final landscape plan, trees which are to remain shall be marked in the field by the developer and protected in an approved manner. Trees within the construction area which are to remain undisturbed shall be enclosed with a fence for protection, (snow fencing or other approved methods). The contractor shall not disturb the area within the fence in any manner deleterious to the trees.
2. Any trenching operations within the vicinity of trees should be done in a manner to protect the tree roots. Tearing and ripping of tree roots should be avoided. Roots should be severed neatly.
3. All trees to be removed should be removed in a manner that will not damage the remaining trees. Any trees that are to remain that are damaged during clearing operation must be repaired in an approved manner by a tree expert as soon as final clearing has been completed. After construction is completed, temporary barriers, surplus materials and all trash, debris and rubbish shall be removed from the site. All backfill shall be clear of building material, stone and rubbish.
4. Existing trees (particularly mature trees) which are retained will undergo "post operative shock" caused by the construction activity. All possible safeguards should be taken to minimize these effects and to provide optimum growth conditions. Foliage feeding and liquid or root feeding are encouraged. Branch and foliage thinning are also desirable.

LANDSCAPING NOTES

GENERAL

- A. ALL PLANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH HORTUS THIRD, BY L.H. BAILEY, 1976 OR ITS LATEST EDITION.
- B. ALL NURSERY STOCK SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. STANDARDS AS DESCRIBED IN AMERICAN STANDARDS FOR NURSERY STOCK, PUBLICATION ANSI Z601-1980 OR ITS LATEST EDITION.
- C. LANDSCAPE SPECIFICATIONS SHALL CONFORM TO THE CURRENT LANDSCAPE SPECIFICATIONS GUIDELINES BY LANDSCAPE CONTRACTORS ASSOCIATION, MD-DC-VA. ALL NURSERY STOCK SHALL BE PLANTED IN ACCORDANCE WITH THE PROCEDURES OUTLINED IN THE GUIDELINES WITH THE FOLLOWING EXCEPTIONS:
 1. ALL APPLICABLE TREE PRESERVATION NOTES TO INCREASE THE SURVIVABILITY OF EXISTING TREES.
- D. THREE (3) INCHES TOPSOIL ON ALL DISTURBED AREAS TO BE LANDSCAPED, SEEDED OR SODDED IS REQUIRED.
- E. A SEPARATE PLAN LABELED "LANDSCAPE PLAN" (MAY BE COMBINED WITH FOREST CONSERVATION PLAN) IS REQUIRED. LANDSCAPE REQUIREMENTS MAY NOT BE COMBINED WITH THE FOREST CONSERVATION PLAN.

INSTALLATION

- A. STANDARDS TO CONFORM TO THE MOST RECENT VERSION OF THE ANSI A800 STANDARDS PART 6 - TRANSPLANTING AND LANDSCAPE SPECIFICATIONS GUIDELINES OF THE LANDSCAPE CONTRACTORS ASSOCIATION, MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA.
- B. PLANTING ON INDIVIDUAL LOTS SHALL BE INSTALLED UPON FINAL GRADING INSPECTION. NO FINAL GRADING APPROVAL SHALL BE GIVEN ON THE BUILDING PERMITS UNTIL LANDSCAPING IS COMPLETE.
- C. A COMPLETED AND SEALED CERTIFICATION BY A LANDSCAPE ARCHITECT SHALL BE PROVIDED AT THE INITIAL INSPECTION. THE COMPLETING FORM WITH PHOTOGRAPHS IS REQUIRED.
- D. ACCEPTABLE PLANT SURVIVAL SHALL BE DEFINED AS NOT MORE THAN 1/3 MORTALITY. A 12 MONTH INSPECTION WILL BE PERFORMED BY THE COUNTY. NO INSPECTION SHALL BE FINALIZED FROM NOVEMBER 1 TO MARCH 1.

MAINTENANCE RESPONSIBILITY

THE OWNER OF ANY PROPERTY ON WHICH LANDSCAPING HAS BEEN INSTALLED PURSUANT TO THIS CHAPTER SHALL MAINTAIN THE LANDSCAPING IN GOOD CONDITION IN PERPETUITY. A LANDSCAPE MAINTENANCE AGREEMENT SHALL BE REQUIRED. FAILURE TO REPLACE DEAD OR DYING PLANTS OR THE REMOVAL OF ANY INSTALLED PLANTS IS A VIOLATION OF THIS CHAPTER.

INSPECTIONS

A MINIMUM OF 2 INSPECTIONS WILL BE REQUIRED:

- A. INITIAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED WHEN PLANTING IS COMPLETED TO VERIFY COMPLIANCE WITH THE APPROVED PLANTING PLAN. THE INSPECTION SHALL BE PERFORMED BY A LANDSCAPE ARCHITECT. A COMPLETED AND SEALED LANDSCAPE CERTIFICATION SHALL BE PROVIDED WITH PHOTOGRAPHS OR OTHER VISUAL DOCUMENTATION. THE 12 MONTH SURVIVAL PERIOD WILL BEGIN UPON RECEIPT OF THE LANDSCAPE CERTIFICATION.
- B. FINAL INSPECTION. THIS INSPECTION SHALL BE PERFORMED BY THE COUNTY 12 MONTHS AFTER CERTIFICATION OF THE INITIAL PLANTING.

ID	QUANTITY	BOTANIC NAME	COMMON NAME	MIN. SIZE	ROOT	SPACING	P.U.	NATIVE/ADAPTIVE	MATURE SIZE
72 Major Deciduous Trees									
AR	4.00	Acer rubrum 'October Glory'	October Glory Maple	2.5' cal.	B&B	random (see plan)	4	Native	40' HT. & 30' SP
CKD	3.00	Cornus kousa	Kousa Dogwood	2.5' cal.	B&B	random (see plan)	3	Adaptive	25' HT. & 20' SP
BN	2.00	Betula nigra	River Birch	2.5' cal.	B&B	random (see plan)	2	Native	50' HT & 40' SP
CB	10.00	Carpinus betulus 'Fastigiata'	European Hornbeam	2.5' cal.	B&B	random (see plan)	10	Adaptive	30' HT. & 40' SP
CK	4.00	Cladonia luteoalba	Yellowwood	2.5' cal.	B&B	random (see plan)	4	Native	50' HT. & 40' SP
GT	8.00	Gleditsia tricanthos "Shademaster"	Thornless Honeylocust	2.5' cal.	B&B	random (see plan)	8	Native	70' HT. & 50' SP
KP	2.00	Koeleruteria paniculata	Goldrain Tree	2.5' cal.	B&B	random (see plan)	2	Adaptive	35' HT. & 35' SP
CM	2.00	Lagerstroemia indica "Natchez"	Grape Myrtle	2.5' cal.	B&B	random (see plan)	2	Adaptive	25' HT. & 20' SP
PA	9.00	Platanus x acerifolia "Bloodgood"	Londonplane	2.5' cal.	B&B	random (see plan)	9	Adaptive	70' HT. & 65' SP
PY	3.00	Prunus x yedoensis	Yoshino Cherry	2.5' cal.	B&B	random (see plan)	3	Adaptive	40' HT. & 40' SP
QB	4.00	Quercus bicolor	Swamp White Oak	2.5' cal.	B&B	random (see plan)	4	Native	60' HT. & 60' SP
QP	10.00	Quercus phellos	Willow Oak	2.5' cal.	B&B	random (see plan)	10	Native	60' HT. & 40' SP
LT	3.00	Liriodendron tulipifera	Tulip Poplar	2' cal.	B&B	random (see plan)	3	Native	90' HT. & 50' SP
LS	5.00	Liquidambar styraciflua "Seedless Burgundy Flash"	Seedless Sweetgum	2.5' cal.	B&B	random (see plan)	5	Native	75' HT. & 50' SP
UA	3.00	Ulmus americana	American Elm	2' cal.	B&B	random (see plan)	3	Native	80' HT. & 50' SP
63 Evergreen Trees									
IO	14.00	Ilex opaca "Satyr Hill"	American Holly	5'	B&B	random (see plan)	7	Native	40' HT. & 25' SP
PAS	5.00	Picea abies	Norway Spruce	5'	B&B	random (see plan)	2.5	Adaptive	60' HT. & 30' SP
PS	8.00	Pinus strobus	Eastern White Pine	5'	B&B	random (see plan)	4	Native	60' HT. & 40' SP
TP	14	Thuja occidentalis "Emerald Green"	Emerald Green Arborvitae	5'	B&B	random (see plan)	7	Adaptive	15' HT. & 5' SP
JV	22.00	Juniperus virginiana "Brodia"	Eastern Red Cedar	5'	B&B	random (see plan)	11	Native	25' HT. & 6' SP
6 Minor Deciduous Trees									
AC	2.00	Amelanchier canadensis	Serviceberry	1' cal.	B&B	random (see plan)	1	Native	25' HT. & 20' SP
CC	4.00	Cercis canadensis	Redbud	2' cal.	B&B	random (see plan)	2	Native	30' HT. & 35' SP
385 Shrubs									
BJ	10.00	Berberis julianae	Wintergreen Barberry	30"	# 7	5' o.c.	2.0	Adaptive	6' HT. & 8' SP
EP	44.00	Elaeagnus pungus "Fruittand"	Elaeagnus	30"	# 7	6' o.c.	8.8	Adaptive	15' HT. & 15' SP
CA	10.00	Clethra alnifolia	Summersweet	30"	# 7	3' o.c.	2.0	Native	12' HT. & 10' SP
IG	10.00	Ilex glabra	Inkberry	30"	# 7	4' o.c.	2	Native	8' HT. & 10' SP
IV	13.00	Ilex verticillata "Winter Red" (2) "Apollo" male	Winterberry	30"	# 7	4' o.c.	2.6	Native	10' HT. & 10' SP
IM	8.00	Ilex meserveae "China Girl"	Blue Holly	30"	# 7	3' o.c.	1.6	Adaptive	10' HT. & 8' SP
JS	15.00	Juniperus squamata "Parsoni"	Parsoni Juniper	24"	# 5	4' o.c.	3	Adaptive	12' HT. & 10' SP
EK	126.00	Euonymus klatschovicus "Marhattan"	Euonymus	30"	# 7	4' o.c.	25.2	Adaptive	10' HT. & 10' SP
CS	36.00	Cornus seneca Kelseyj	Redtwig Dogwood	30"	# 7	5' o.c.	7.2	Native	9' HT. & 10' SP
TC	26.00	Taxus cuspidata "Nana Erecta Hill"	Upright Yew	30"	B&B	4' o.c.	5.2	Adaptive	10' HT. & 5' SP
PL	30.00	Prunus laurocerasus "Otto Lyken"	Otto Lyken Laurel	24"	# 10	4' o.c.	6	Adaptive	10' HT. & 20' SP
VD	25.00	Viburnum dentatum "Blue Muffin"	Arrowwood Viburnum	30"	B&B or #7 cont.	5' o.c.	5	Native	9' HT. & 10' SP
VR	32.00	Viburnum nitidophyllum	Leatherleaf Viburnum	30"	# 7	4' o.c.	6.4	Adaptive	15' HT. & 15' SP
EXISTING PLANT MATERIAL									
GTIS	1.00	Gleditsia tricanthos	Honeylocust	2.5' cal.	b&b	random	1.0	Native	70' HT. & 50' SP
AXAB	2.00	Amelanchier canadensis	Serviceberry	6-8 MS	B&B	random	0	Native	25' HT & 20' SP
JCPC	14.00	Juniperus pfitz. "Katsya's Compact"	Juniper	24"	container	3' o.c.	2.8	Adaptive	3' HT & 6' SP
TOTAL PLANTING UNITS:								187.30 PU	

GENERAL NOTES:

100% of the trees and shrubs for this landscape plan either Native or Adaptive species to the Mid-Atlantic Region. These plants are appropriate to the site's soil type, micro-climate, and are not invasive species. Parking Lot Landscape Islands are to be planted with (1) 2.5" caliper size tree per island.

WESTMINSTER STATION - COMMERCIAL RETAIL/RESTAURANT
CITY OF WESTMINSTER - CARROLL COUNTY, MD

LANDSCAPE CALCULATIONS

No.	Description	Quantity	Rate	Required P.U.	Proposed PU
Section V					
C.1.a.	Property Line adjacent to public streets.	950 LF	1 PU / 40 LF	23.8 PU	28.0
C.1.a.	Interior Streets	645 LF	1 PU / 20 LF	32.3 PU	33.7
C.1.b.	Off-Street Parking adjacent to Right-of-way. Class B Screening	950 LF	1 PU / 15 LF	63.4 PU	66.0
C.1.c.	Commercial Parking Spaces (1 tree per 10 spaces)	300 spaces	10 spaces/ 1 PU	30 trees or PU	33.0 trees or PU

Parking Lot Landscape Island Requirements (7% of total parking area)
Parking Lot Area: 115,658 SF
7% of Parking Lot Area: 8096 SF

Landscape Island SF:

1)	350	11) 382	21) 166
2)	154	12) 711	22) 276
3)	203	13) 319	23) 308
4)	147	14) 148	24) 317
5)	147	15) 319	25) 270
6)	232	16) 148	26) 110
7)	1218	17) 315	27) 184
8)	286	18) 192	28) 385
9)	390	19) 190	
10)	127	20) 102	

Total Island SF: 8096 SF

Landscape Island Total: 8096 SF is 7.0%. Meeting the 7% minimum requirement. Each Island shall be planted with a min. 2.5" cal. major Tree. Unless within 50 feet of power-lines than a Minor Tree with a 2.5" cal. would be used.

No.	Description	Quantity	Rate	Required P.U.	Proposed PU
C.1.d.	Trash Dumpster & Loading Area (at freestanding restaurant)	108 LF	1 PU / 15 LF	7.2 PU	8.1 PU
C.1.d.	Trash Dumpster (Rear of buildings west side)	32 LF	1 PU / 15 LF	2.1 PU	3.5 PU
C.1.d.	Trash Dumpster (Rear corner of buildings southwest)	32 LF	1 PU / 15 LF	2.1 PU	3.5 PU
C.1.d.	Loading Dock (rear of buildings)	90 LF	1 PU / 15 LF	6.0 PU	6.0 PU
D1c.	Stormwater Management Facilities: 20 PU per acre of basin area. Basin Area: 9932 SF/43,560 = 22.8 % x 20 = 4.5 PU			4.5 PU	5.5 PU

Total Required Planting Units: 165.4 PU

Proposed Planting Units: 187.30 PU

OWNER/DEVELOPER

WESTMINSTER CENTER ASSOCIATES L.L.C.
BY: WESTMINSTER CENTER, LLC, ITS GENERAL PARTNER
2800 QUARRY LAKE DR. #340
BALTIMORE, MD 21209
410-308-0700

LANDSCAPE NOTES & DETAILS

AMENDED SITE PLAN For

WESTMINSTER STATION

CITY OF WESTMINSTER
7th Election District - Carroll County, Maryland
Tax Map: 105 * Block: 14 * Parcel: 2759 * Recorded Plat: Pk. 55, Pg. 277

LANDSCAPE ARCHITECT
200020
LLOYD BRUNN MARTIN, JR.
STATE OF MARYLAND
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Engineers - Surveyors
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CITY OF WESTMINSTER PROJECT NUMBER

ROADS	SEWER	WATER
Date	Revisions	Drawn By: JW
		Designed By: LBM, Jr.
		Reviewed By:
		Date: JULY, 2022
		Scale: N/A
		Job No.: 202102P
		Sheet: 23 OF 28

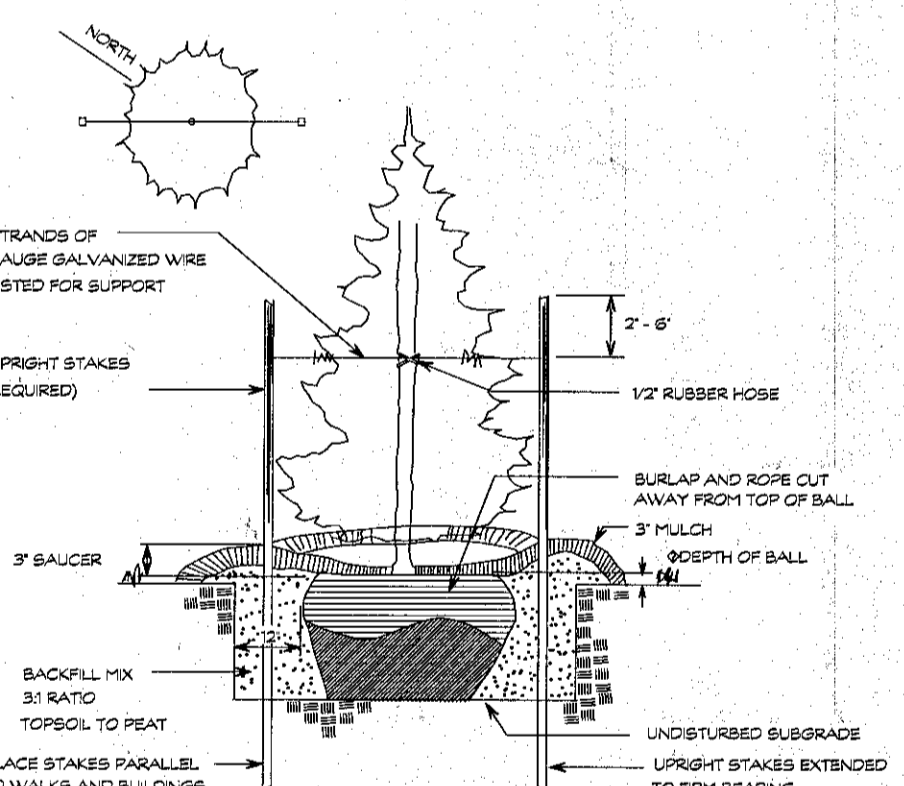
LANDSCAPE PLAN CERTIFICATION

I CERTIFY THAT THIS LANDSCAPE PLAN IS CONSISTENT WITH THE GOAL AND INTENT OF AND COMPLES WITH THE CITY OF WESTMINSTER LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICES, GUIDELINES AND ORDINANCES.

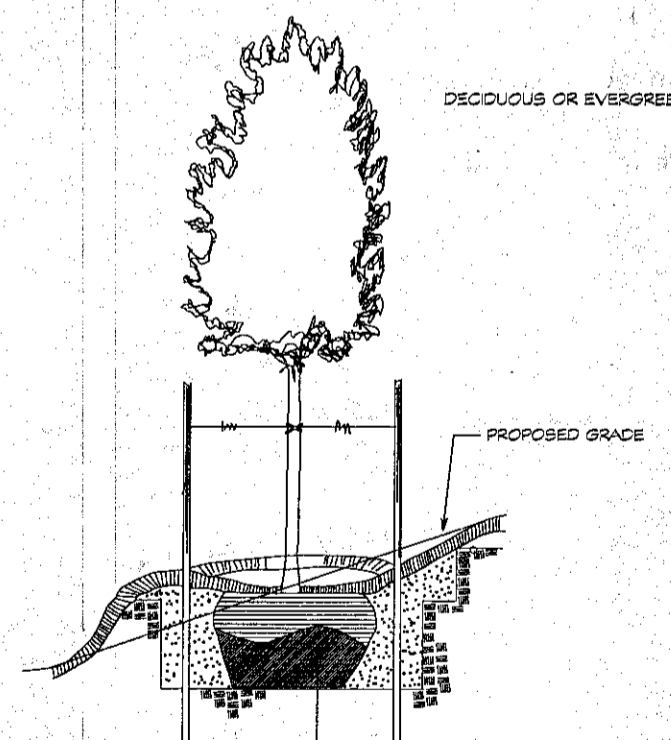
Lloyd Brun Martin Jr.
Lloyd Brun Martin Jr.
Landscape Architect Registration No. 2000020
DATE: 07/19/2022

I CERTIFY THAT THIS LANDSCAPE PLAN IS CONSISTENT WITH THE GOAL AND INTENT OF AND COMPLES WITH THE CITY OF WESTMINSTER LANDSCAPE MANUAL AND MEETS ALL APPLICABLE POLICES, GUIDELINES AND ORDINANCES.

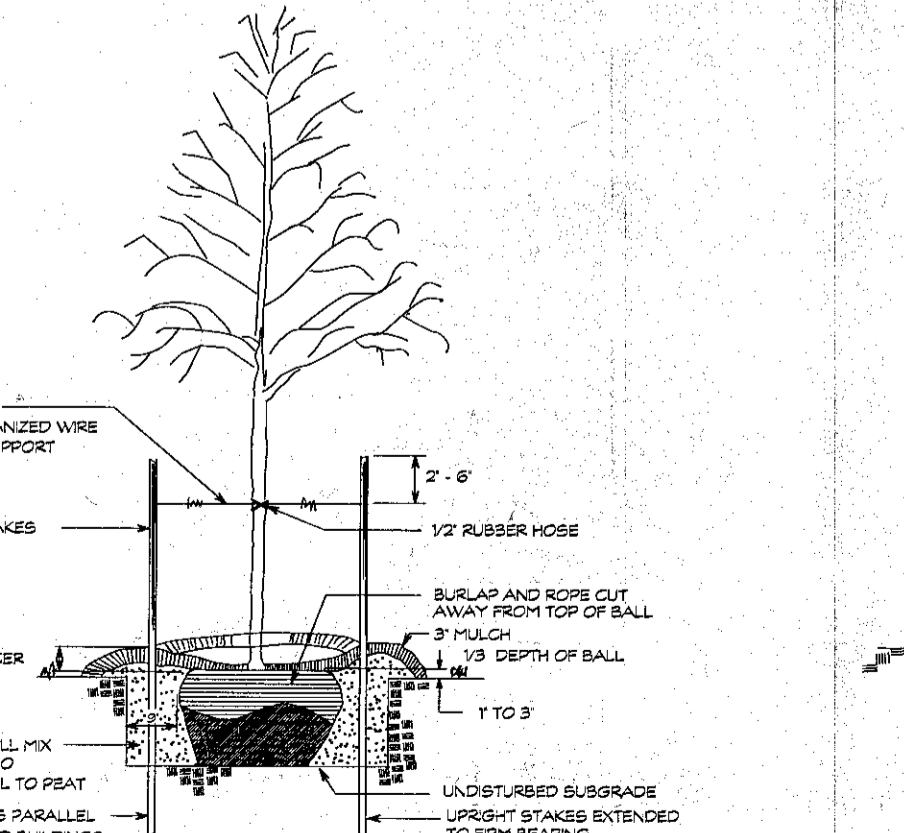
Westminster Center Associates LLC
By: Westminster Center, LLC
General Partner
DATE: 7/19/22
SIGNATURE OF OWNER
2800 Quarry Lake Dr., Ste 340
Baltimore, MD 21209
ADDRESS

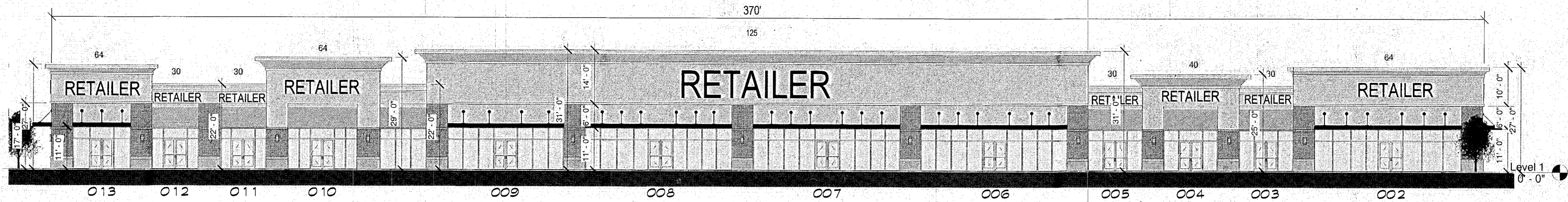


EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

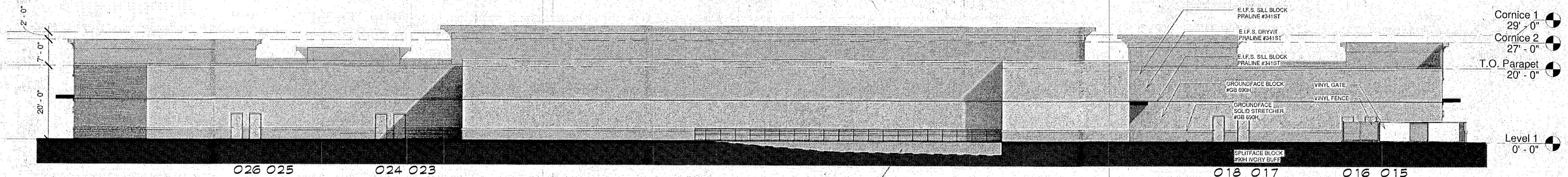


SLOPE PLANTING DETAIL FOR ALL TREES
NOT TO SCALE

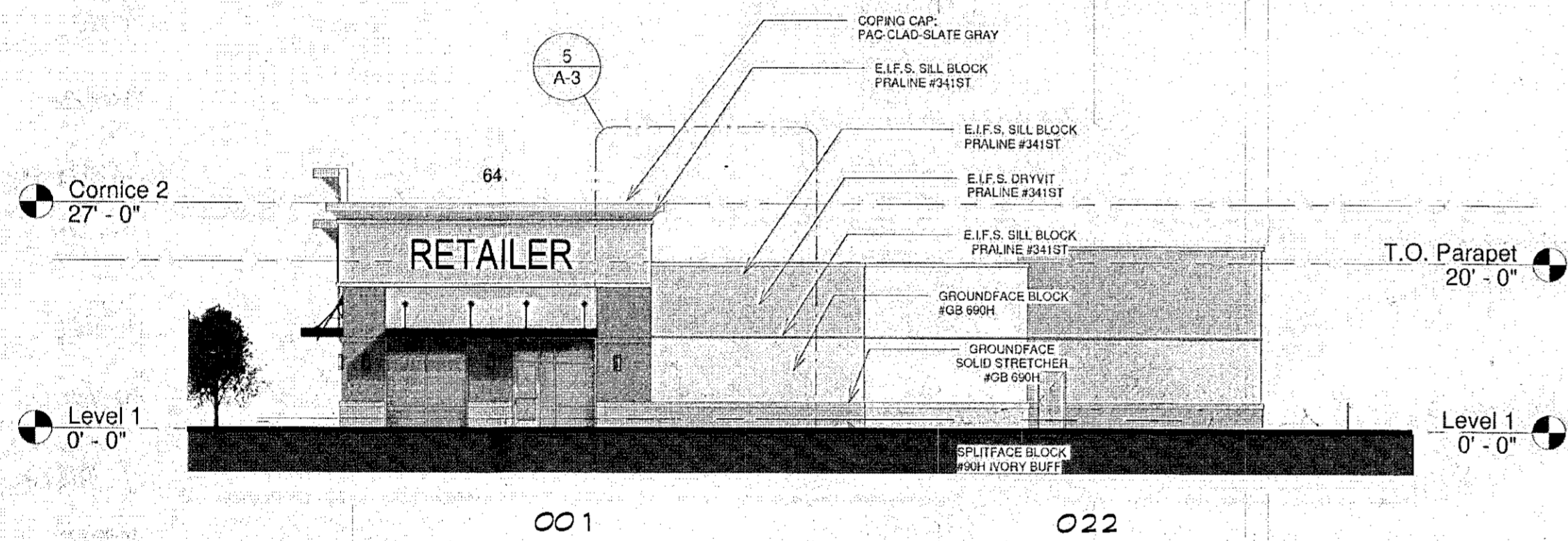




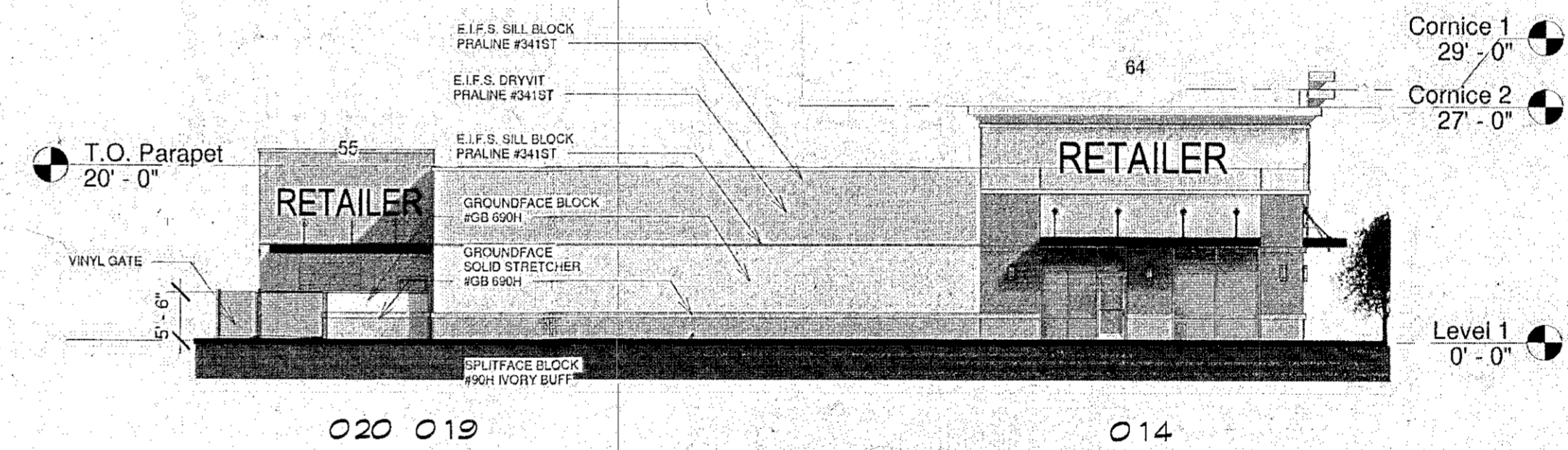
1 Retail Front Elevation
1/16" = 1'-0"



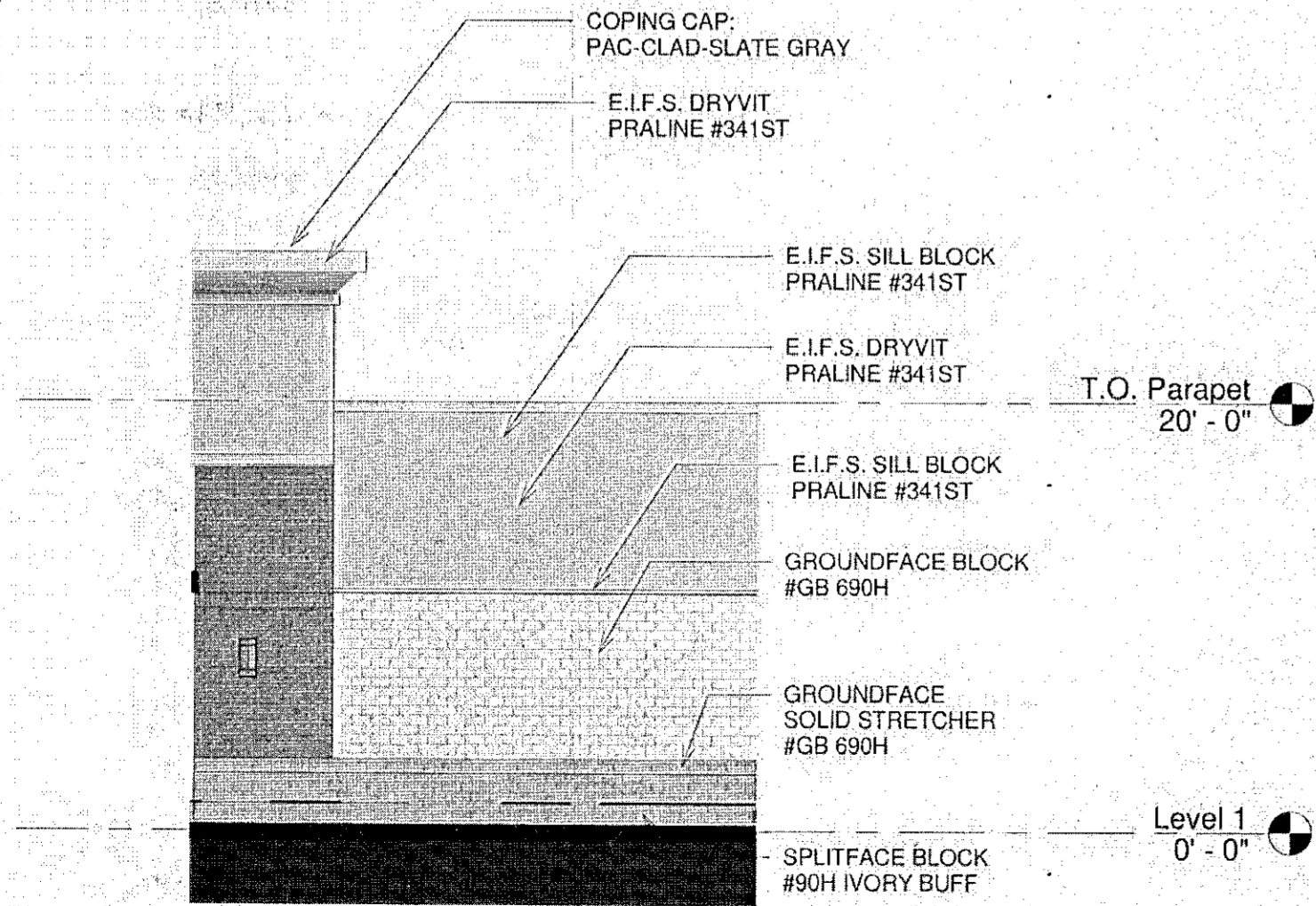
2 Retail Rear Elevation
1/16" = 1'-0"



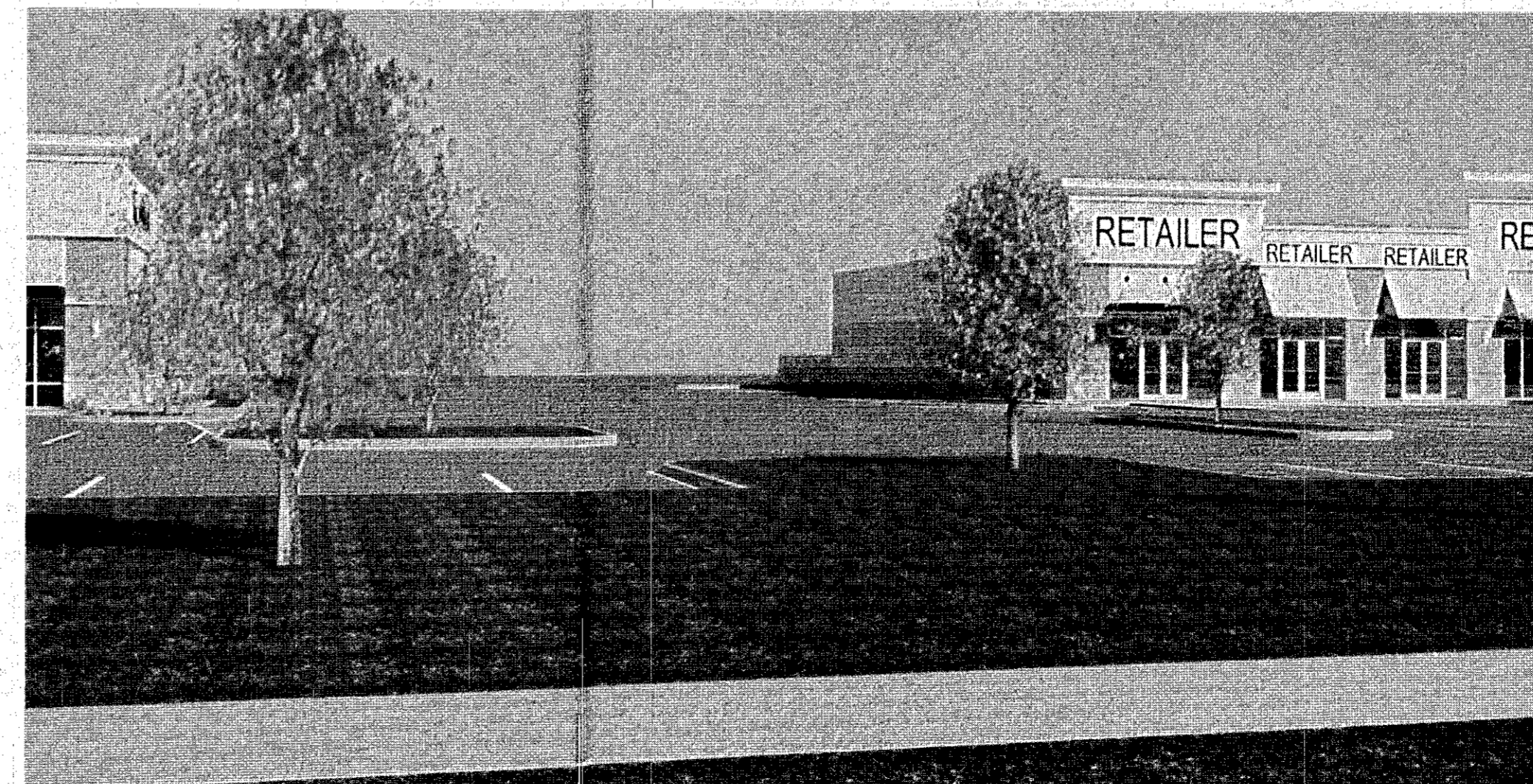
3 Retail Side Elevation
1/16" = 1'-0"



4 Retail Side Elevation 2
1/16" = 1'-0"



5 Retail Side Elevation - Callout 1
1/8" = 1'-0"



Dumpster View from MD Rte 140
Not to Scale

Paul J. Gorman Architects
3928 Washington Blvd, Suite 201
Baltimore, MD 21227
Email: gormanarchitects@erols.com

Consulting Architect: Paul Gorman
Architectural Statement: I certify that these documents were reviewed by and approved by me and I am a duly licensed architect under the laws of the state of Maryland

License Number: 7822
Expiration Date: 5.11.23

WESTMINSTER STATION
CARROLL COUNTY, MARYLAND

SHEET ISSUE DATE: 04/22/22

No.	Description	Date

SHEET TITLE:
Elevations, Dumpster Enclosure Floor Plan

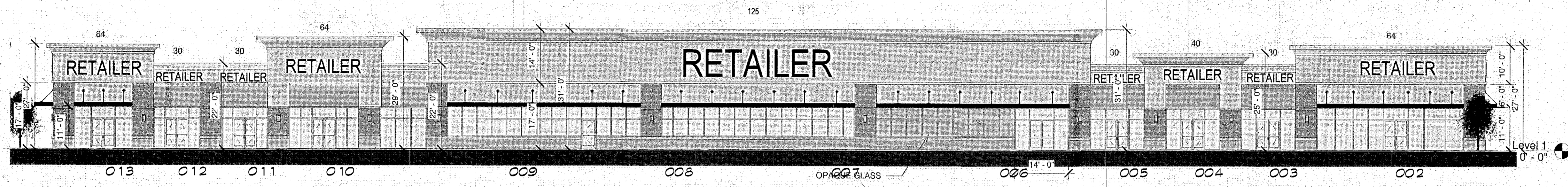
SHEET: **A-3**

Scale: As indicated

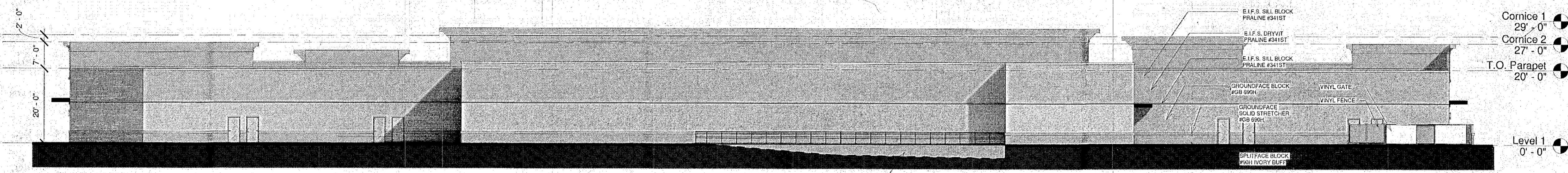
Option A

15256-25

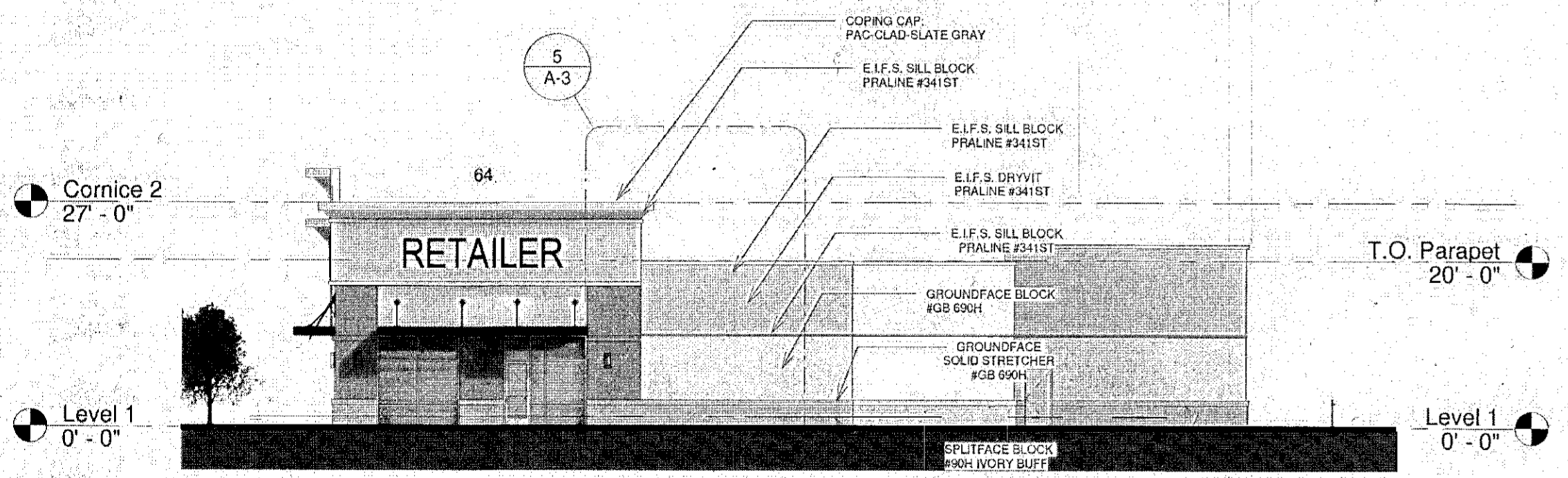
SIGNAGE SQUARE FOOTAGE IN RED



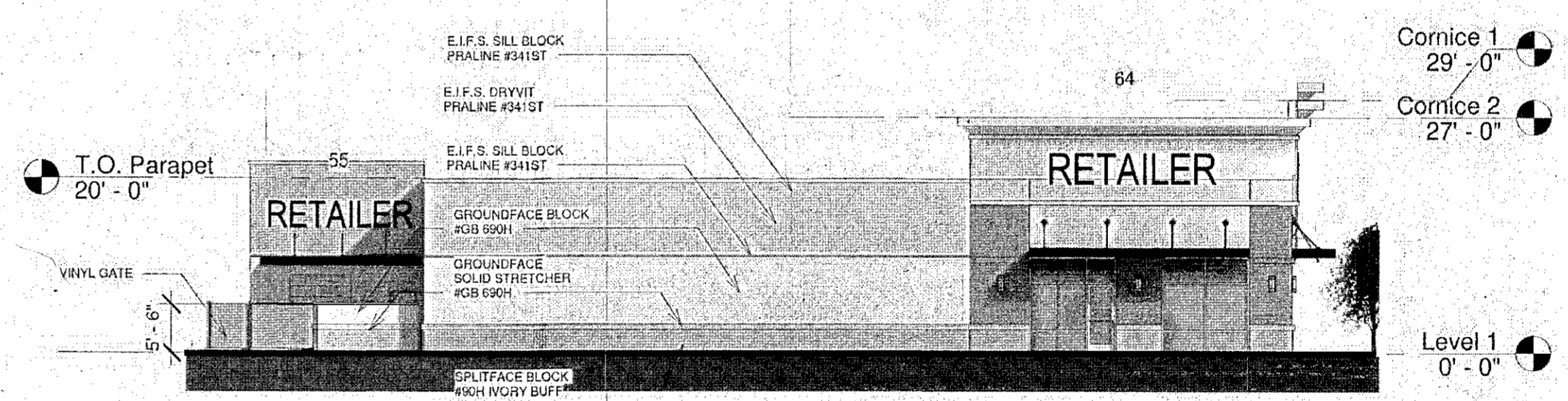
1 Retail Front Elevation
1/16" = 1'-0"



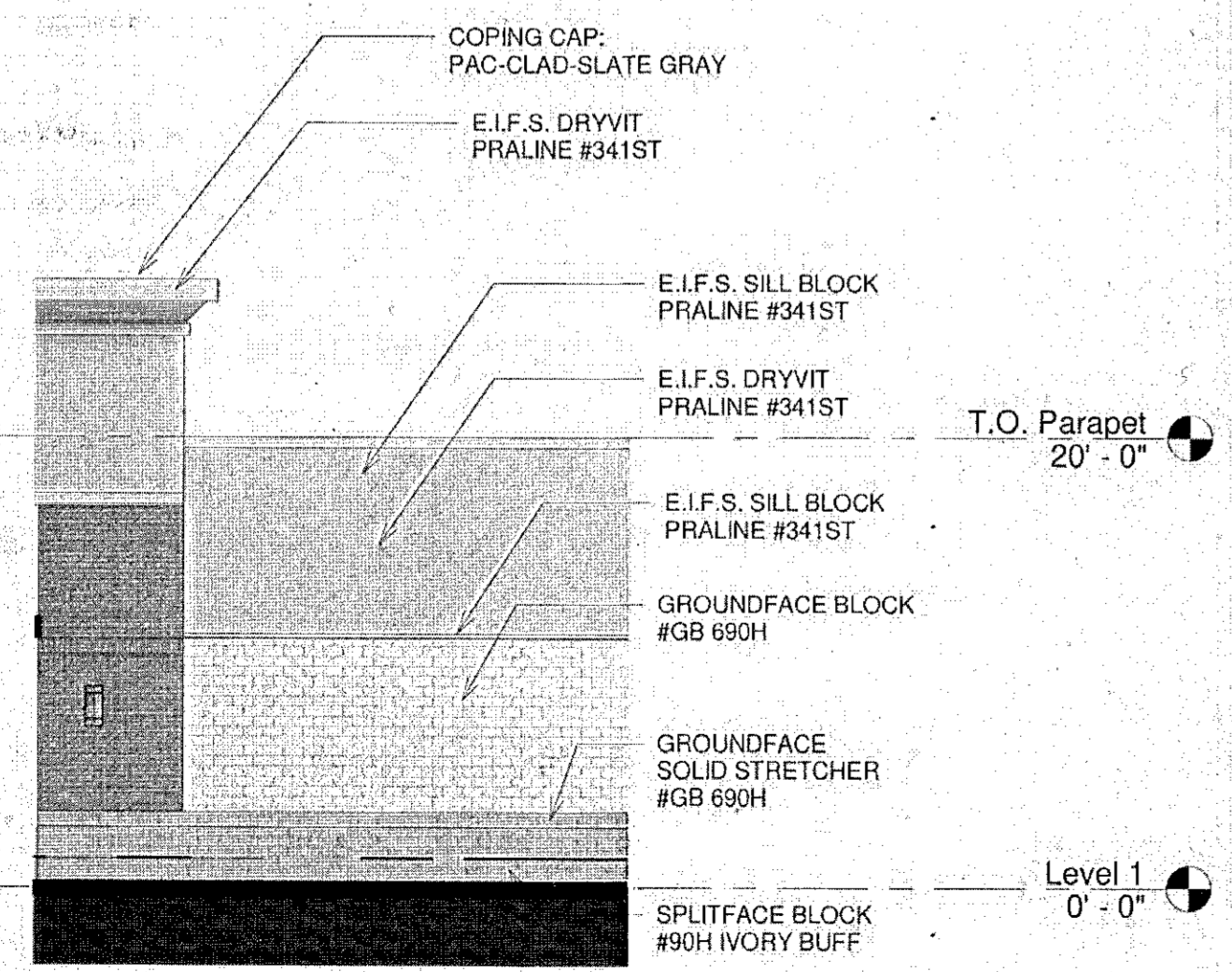
2 Retail Rear Elevation
1/16" = 1'-0"



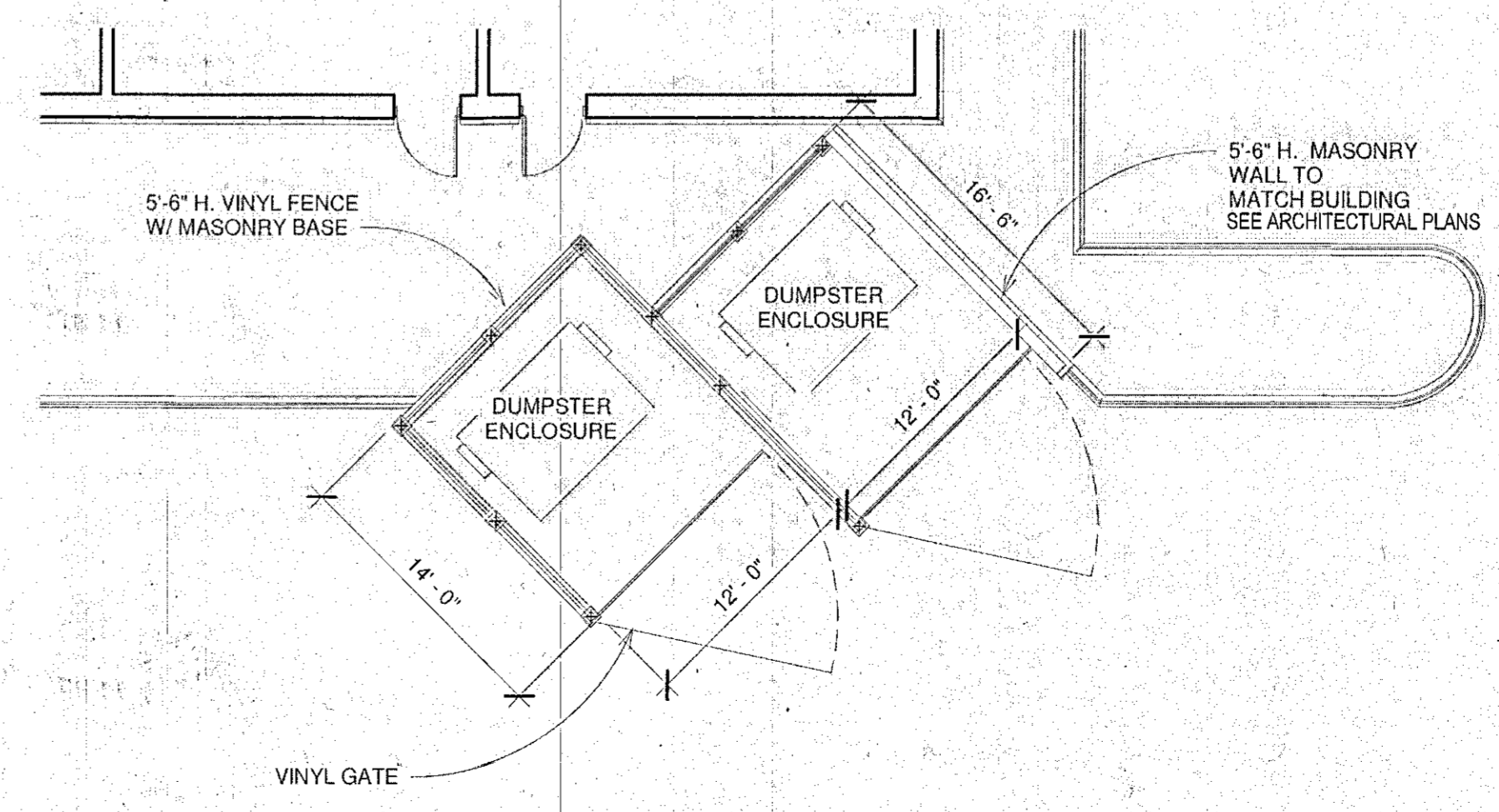
3 Retail Side Elevation
1/16" = 1'-0"



4 Retail Side Elevation 2
1/16" = 1'-0"



5 Retail Side Elevation - Callout 1
1/8" = 1'-0"



6 Dumpster Enclosure Floor Plan
1/8" = 1'-0"

Paul J. Gorman Architects
3928 Washington Blvd. Suite 201
Baltimore, MD 21227
Email: gormanarchitects@erols.com

Consulting Architect: Paul Gorman
Architectural Statement: I certify that these documents were reviewed by and approved by me and I am a duly licensed architect under the laws of the state of Maryland

License Number 7622
Expiration Date 5.11.23

WESTMINSTER STATION
CARROLL COUNTY, MARYLAND

SHEET ISSUE DATE: 04/22/22

No.	Description	Date

SHEET TITLE:
Elevations, Dumpster Enclosure Floor Plan

SHEET:
A-3

Scale: As indicated

Option B

1525-21



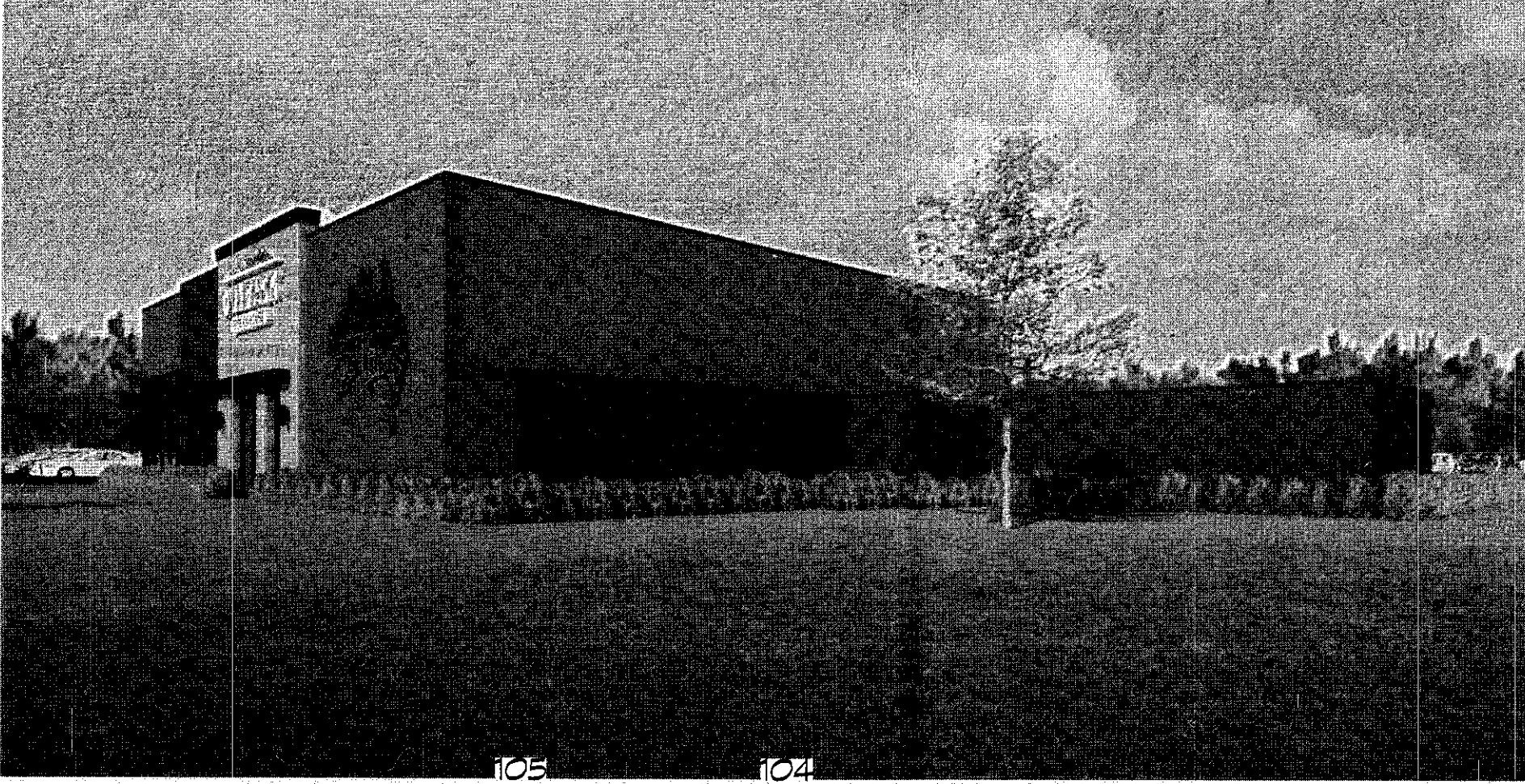
FRONT / RIGHT SIDE



FRONT / LEFT SIDE



REAR / LEFT SIDE



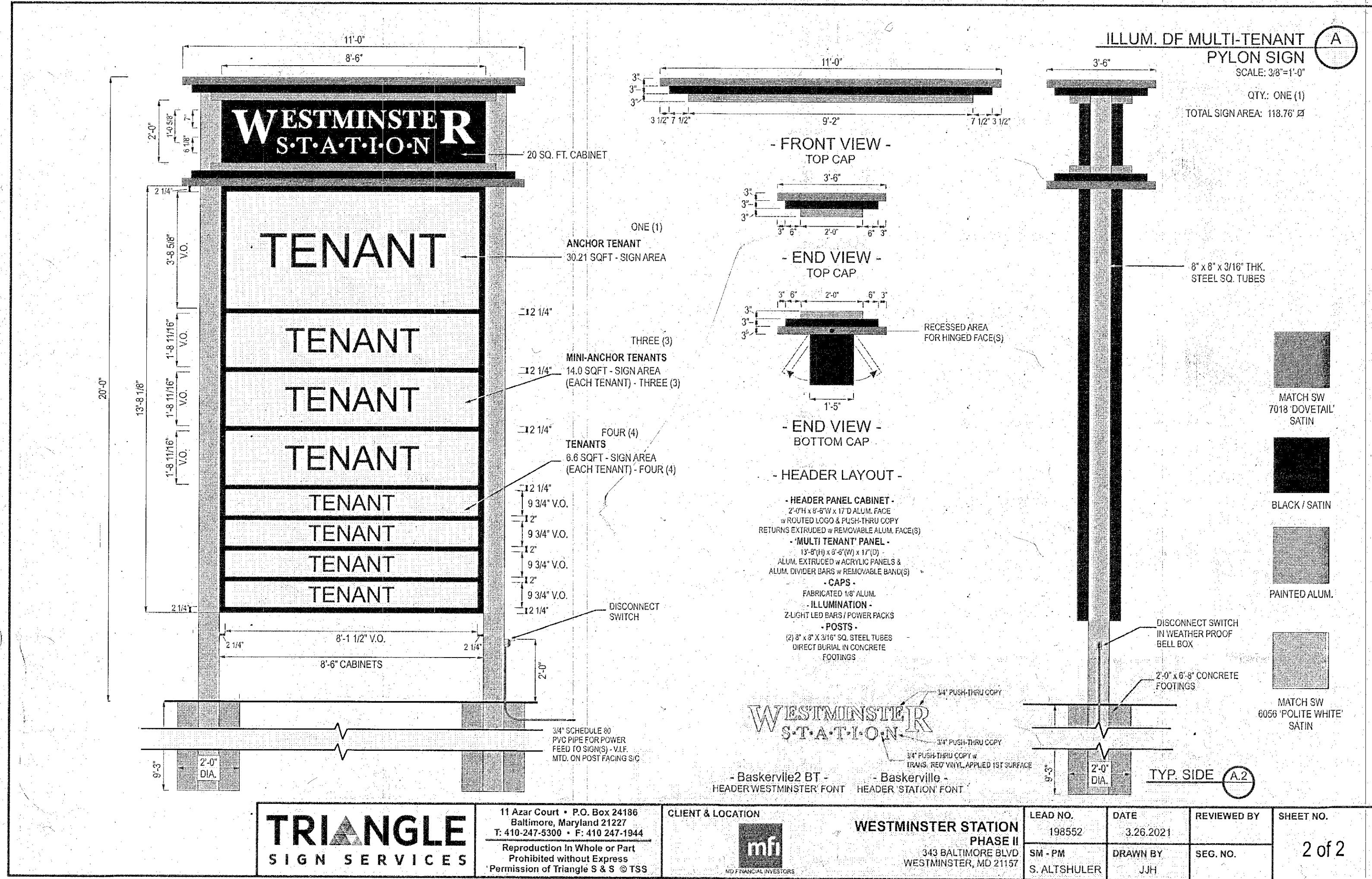
REAR / RIGHT SIDE



RIGHT SIDE



FRONT



Signage Calculations

FRONT WALL LENGTH TOTAL= 434 LF	RETAIL= 370 LF	OUTBACK= 64 LF
Allowed 434 x 3=	1,302 Square feet of Signage Allowed	
Sign	Size	
Retail Front Sign No. 1	64 SF.	
Retail Front Sign No. 2	30 SF.	
Retail Front Sign No. 3	30 SF.	
Retail Front Sign No. 4	64 SF.	
Retail Front Sign No. 5	125 SF.	
Retail Front Sign No. 6	30 SF.	
Retail Front Sign No. 7	40 SF.	
Retail Front Sign No. 8	30 SF.	
Retail Front Sign No. 9	64 SF.	
Retail East Side Sign No. 10	64 SF.	
Retail West Side Sign No. 11	55 SF.	
Retail West Side Sign No. 12	64 SF.	
Outback Front Sign No. 13	69 SF.	
Outback West Side Sign No. 14	69 SF.	
Australia West Side Sign No. 15	80 SF.	
Outback East Side Sign No. 16	69 SF.	
Australia East Side Sign No. 17	80 SF.	
Take Away East Side Sign No. 18	5 SF.	
Total Proposed=	Retail Building= 660 SF.	Outback= 372 SF.
		1032 SF.

GRAPHICAL REPRESENTATION OF DESIGN INTENT. WILL BE UPDATED AS ARCHITECTURAL DESIGN PROGRESSES

BUILDING ELEVATIONS & PYLON SIGN DETAILS
AMENDED SITE PLAN
for
WESTMINSTER STATION
CITY OF WESTMINSTER
7th Election District Carroll County, Maryland
Tax Map: 105 * Block: 14 * Parcel: 2759 * Recorded Plat: Pb. 55, Pg. 277

CLSI
Engineers • Surveyors
Land Planning & Environmental Consultants
www.clsi-civileng.com
439 East Main Street Westminster, MD 21157-5539
(410) 848-1790 FAX (410) 848-1791

CITY OF WESTMINSTER PROJECT NUMBER		CORPORATION OF WESTMINSTER
ROADS	SEWER	
WATER		
Date	Revisions	Drawn By:
		Designed By:
		Reviewed By:
		Date: JULY, 2022
		Scale: NTS
		Job No.: 2018/02F
		Sheet: 27 OF 28

TRIANGLE SIGN SERVICES

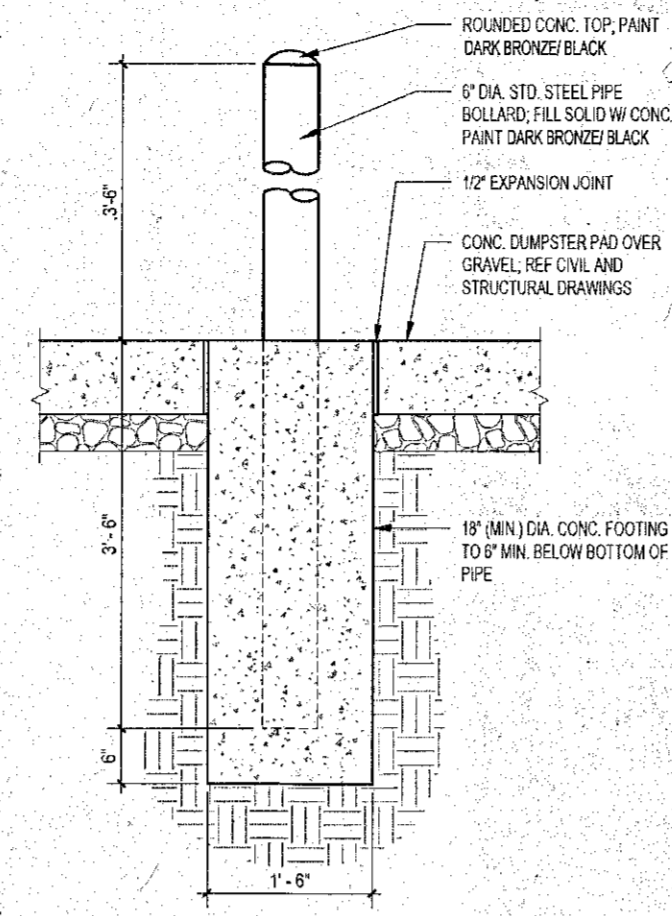
11 Azar Court • P.O. Box 24186
Baltimore, Maryland 21227
T: 410-247-5300 • F: 410-247-1944
Reproduction in Whole or Part
Prohibited without Express
Permission of Triangle S & S © TSS

CLIENT & LOCATION
mfi

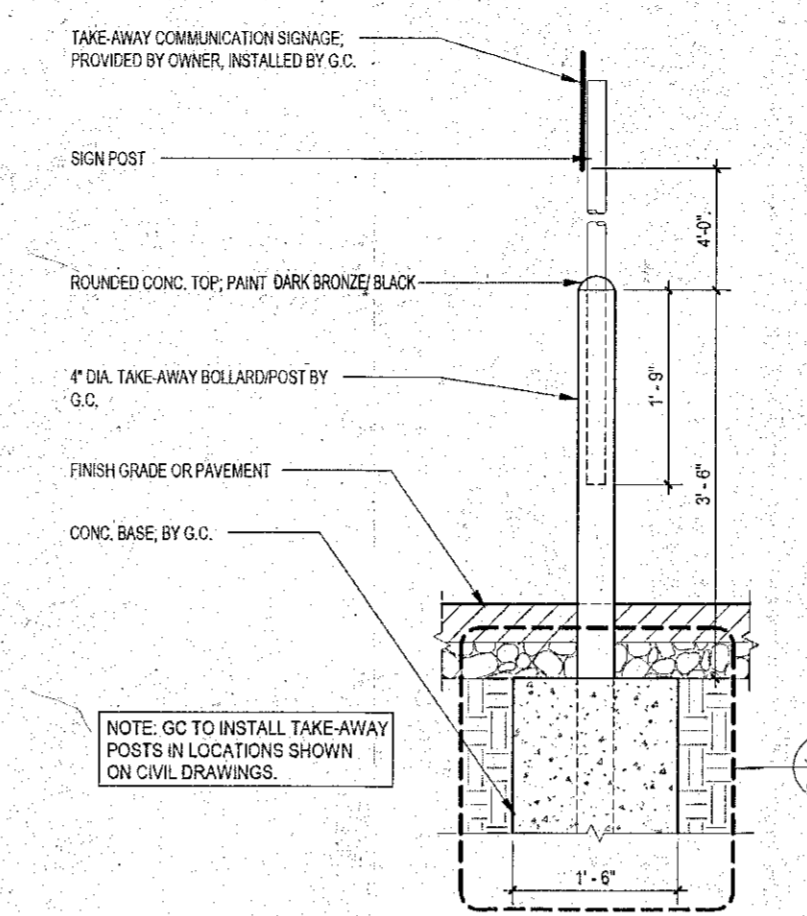
WESTMINSTER STATION PHASE II
343 BALTIMORE BLVD
WESTMINSTER, MD 21157

LEAD NO.	DATE	REVIEWED BY	SHEET NO.
198552	3.26.2021		2 of 2
SM - PM	DRAWN BY	SEG. NO.	
S. ALTSHULER	JJH		

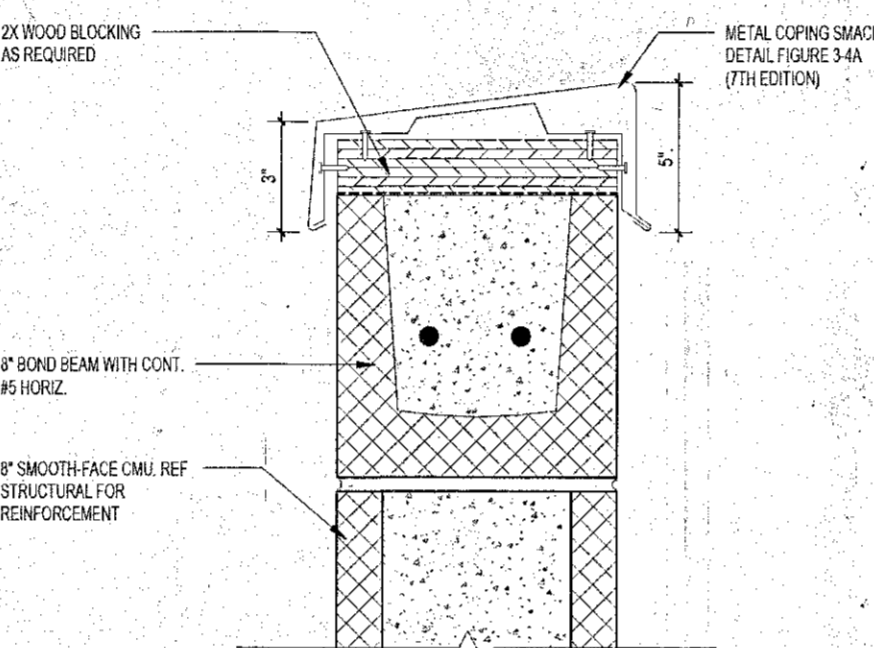
OWNER/DEVELOPER
WESTMINSTER CENTER ASSOCIATES LLP
ITS GENERAL PARTNER
2800 QUARRY LAKE DR. #340
BALTIMORE, MD 21209
410-308-0700



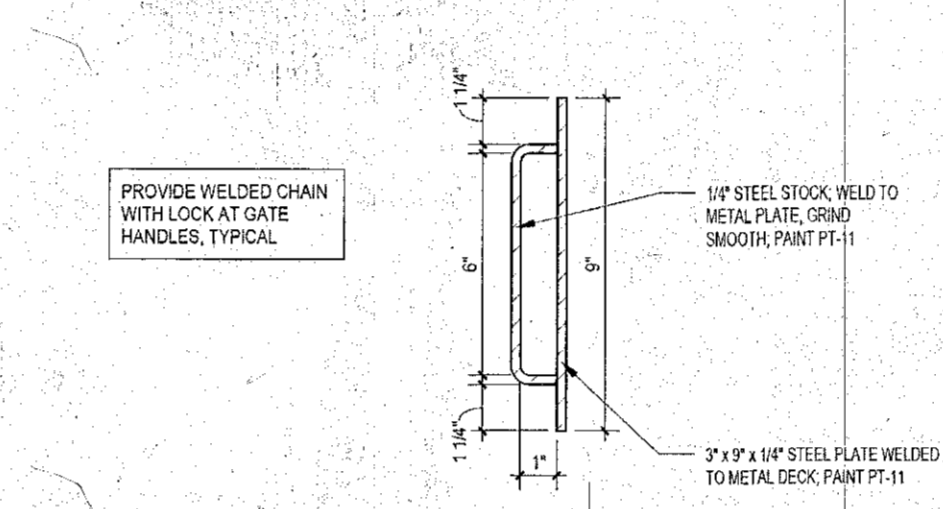
D4 A410 BOLLARD DETAIL



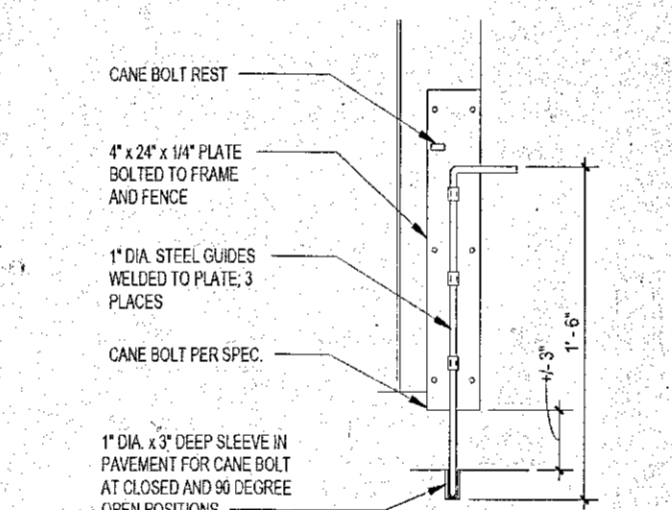
D5 A410 TAKE AWAY POST DETAIL



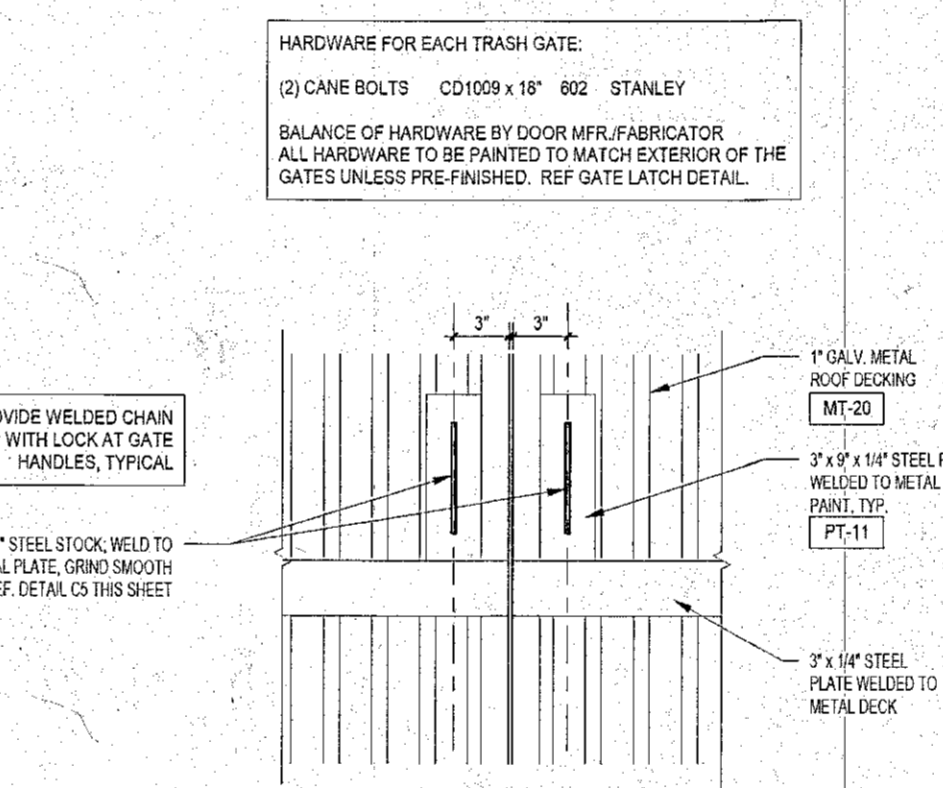
C4 A410 COPING DETAIL



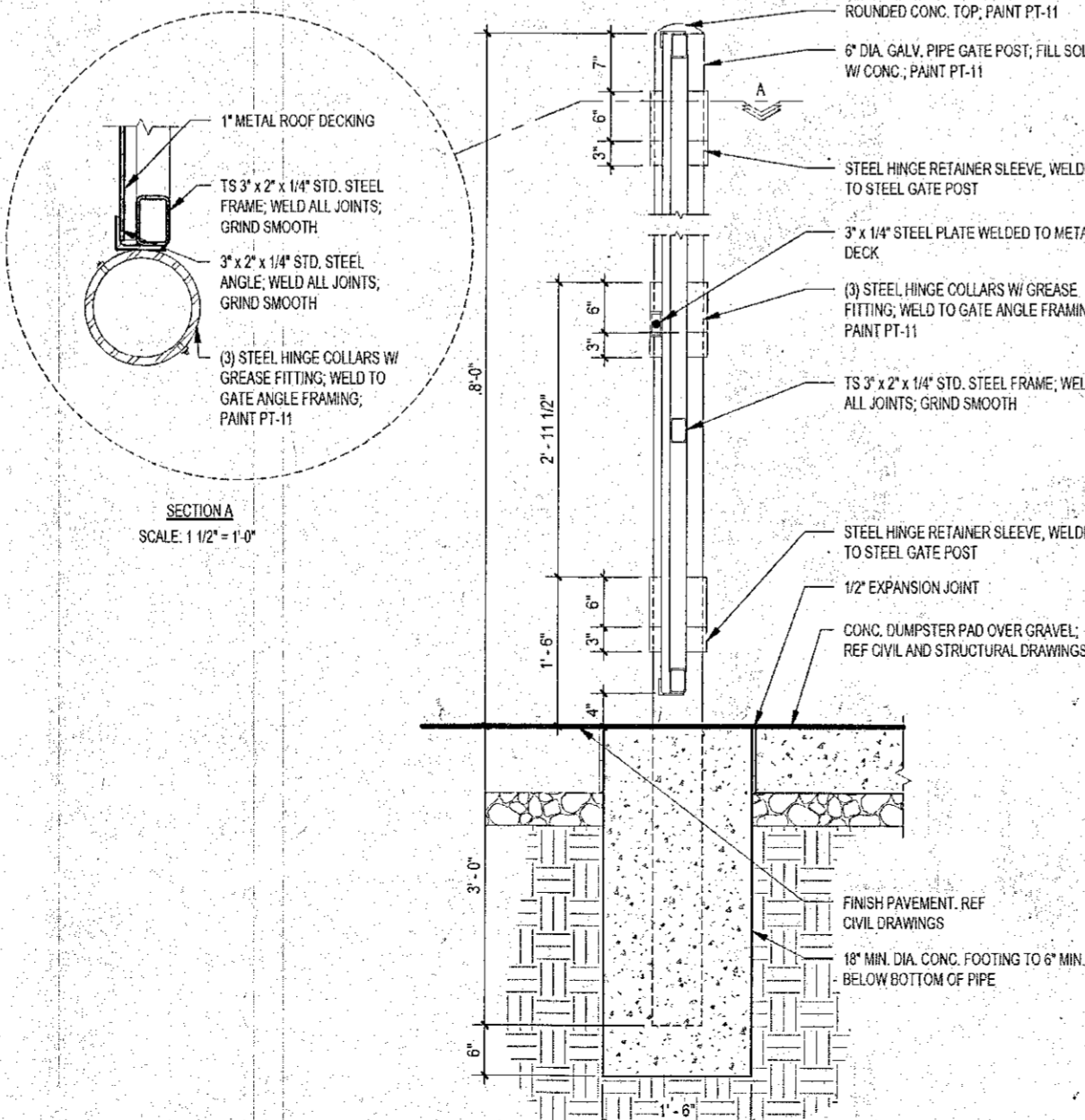
C5 A410 GATE HANDLE DETAIL



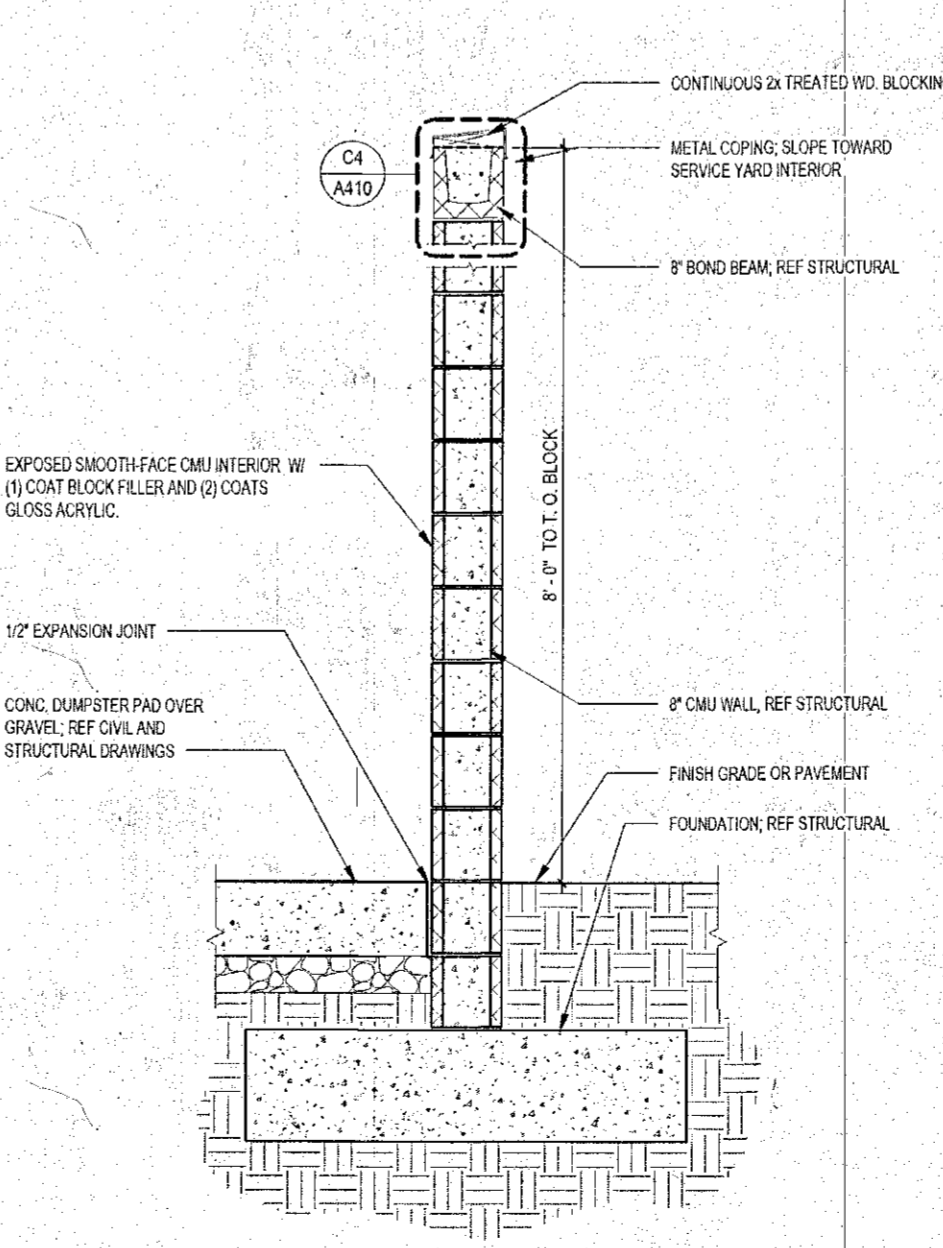
B4 A410 CANE BOLT DETAIL



B5 A410 GATE LATCH DETAIL AT DUMPSTER GATE



A4 A410 GATE POST DETAIL



A5 A410 DUMPSTER ENCLOSURE WALL SECTION

OWNER/DEVELOPER
 WESTMINSTER CENTER ASSOCIATES LLLP
 ASSOCIATES LLLP
 BY: WESTMINSTER CENTER LLC,
 ITS GENERAL PARTNER
 2800 QUARRY LAKE DR. #340
 BALTIMORE, MD 21209
 410-308-0700

**OUTBACK STAKEHOUSE
 DETAILS**
 AMENDED SITE PLAN
 for
WESTMINSTER STATION
 CITY OF WESTMINSTER
 7th Election District Carroll County, Maryland
 Tax Map: 105 * Block: 14 * Parcel: 2759 * Recorded Plat: Pb. 55, Pg. 277

Brian E. Wagner, P.E.

www.clsi-civileng.com

439 East Main Street Westminster, MD 21157-5539
 (410) 848-1790 FAX (410) 848-1791

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THIS DOCUMENT WAS PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51063, EXPIRATION DATE: JUNE 30, 2023

CITY OF WESTMINSTER PROJECT NUMBER		
ROADS	SEWER	
WATER		
Date	Revisions	Drawn By:
		Designed By:
		Reviewed By:
		Date: JULY, 2022
		Scale: NTS
		Job No.: 2018102F
		Sheet: 28 OF 28

ADMINISTRATIVE ADJUSTMENT REQUEST
Westminster Station
255 Baltimore Boulevard
Westminster, MD 21157

We are requesting an Administrative Adjustment to permit the approval of a façade sign of up to 200 square feet for Sprouts Farmers Market (“Sprouts”), the anchor tenant in the Westminster Station shopping center and one of the largest specialty retailers of fresh, natural and organic food in the United States. This calculation is consistent with Carroll County’s signage requirements for “Use-on-the-Premises Signs” (see Section 158.114 of the Carroll County Zoning Code), which permits single signs with an area not to exceed 200 square feet. Additionally, the City of Westminster Zoning Code permits signs up to 200 square feet for certain tenants located within the Planned Regional Shopping Center Zone. We believe that permitting a single sign in a size up to 200 square feet for an anchor tenant within Westminster Station is a realistic and reasonable approach for the shopping center. The current signage allotment in the zoning code for the City of Westminster does not contemplate the needs of an anchor tenant to have impactful and adequate signage. Current signage allotments would result in signage that lacks visibility from the street and is disproportionately small relative to the size of the façade. Furthermore, the granting of the administrative adjustment would enable Sprouts to install its prototypical signage, which is consistent with the signage installed for similar anchor tenants in neighboring shopping centers within the City of Westminster. Finally, this signage would result in the maximum attractiveness and compatibility with the existing buildings in the shopping center in accordance with the requirements for signage under the Code.

Our request supports Zoning Ordinance Section 164-161A.(3)(a) of the City of Westminster Code as follows:

“There are exceptional or extraordinary circumstances or conditions applying to the property in question or to the intended use of the property that do not apply generally to other properties or classes of uses in the same zone;”

Visibility is a vital requirement for a retail shopping center; poor visibility can be a significant contributor to the failure of a center. Westminster Station is situated at a substantially lower elevation than Baltimore Boulevard. As a result, the pylon sign sits at the bottom of the grade change, making it more difficult for drivers to see the tenant names. Permitting Sprouts to install its prototypical signage on its façade will improve visibility from the road by allowing for immediate recognition of the store, improving safety for drivers intending to visit the shopping center.

Additionally, Westminster Station is a newly constructed shopping center. Very little new retail space has been constructed over the last several years, and Westminster Station serves as a unique opportunity for new businesses looking to move into the Westminster market. Tenants’ needs and consumers’ preferences have changed over time to prefer smaller-scale, service-oriented shopping centers. Despite these changes, the anchor tenant continues to serve the same purpose to the shopping center and the surrounding community. The strength and viability of an anchor tenant is critical to the success of the overall shopping center, and by extension, each individual business operating within the shopping center. As the anchor tenant, it is a crucial aspect of Sprouts’ operations to display its prototypical signage to foster brand recognition and drive traffic to the site. Westminster’s zoning code does not take into account the changing nature of retail development and the vital necessity for appropriate signage for anchor tenants.

“Such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same zone and in the same vicinity; and”

As the anchor tenant, Sprouts relies on the immediate recognition of prototypical signage at each of its locations to drive business and bring in customers. Numerous anchor tenants in neighboring shopping centers within the City of Westminster display prototypical signage in sizes consistent with such tenants' other locations outside of Westminster. These tenants benefit from the recognition and familiarity of standardized signage from store to store. Sprouts operates more than 350 specialty supermarkets nationwide, and imposing more restrictive signage requirements than Sprouts' prototype would cause operational and branding concerns. Furthermore, Sprouts is relatively new to the region and would face a competitive disadvantage relative to its more recognizable peers who have larger signs. Overall, Westminster Station would be disadvantaged if Sprouts were not permitted to install its prototypical signage.

“The authorizing of such variance will not be of substantial detriment to adjacent properties and will not materially impair the purpose of this chapter or the public interest.”

There will be no detrimental effect on adjacent properties as a result of the administrative adjustment. In fact, a specialized, high-quality national tenant such as Sprouts will bring revenue to the City of Westminster by drawing customers to the area from surrounding neighborhoods and bringing Carroll County residents to the City. Due to the unique products and services offered by Sprouts, it serves as a retail shopping destination, pulling customers from a wide radius. Furthermore, a strong anchor such as Sprouts will draw higher-quality tenants for the remaining spaces in the shopping center, resulting in a vibrant, successful neighborhood center.

Application Fees per sign
 \$50 for up to 64 square feet
 \$150 for up to 125 square feet
 Payable to City of Westminster



CITY OF WESTMINSTER

45 WEST MAIN STREET
 WESTMINSTER, MD 21157

For Office Use Only	Case No.: _____
	Form Received: _____
	Fee Paid: _____
	DCPD Reviewed: _____
	Appeal Received: _____
	Appeal Decision: _____

APPLICATION FOR SIGN OR AWNING

Please check one: Sign not to exceed 64 square feet Awnings (graphics are also signage)
 Sign not to exceed 125 square feet (Planning & Zoning Commission review)

Property Owner: NCA North LLC Daytime Phone: _____

Mailing Address: 2800 Quarry Lake Drive Suite 340 Balt. MD 21209

Location of Property: 255 Baltimore Blvd

Applicant Name: Robert Brooks Daytime Phone: 410-486-3549

SDAT Map#: _____ Parcel#: _____ Linear feet of Front Wall: _____

All proposed signs must comply with **Article XVII** of the City Code. Please attach documentation to indicate:

- Locations of all signs (existing and proposed) on the development site and on all of the buildings
- Dimensions of all signs (existing and proposed) on the development site and on all of the buildings
- Height from the ground of any freestanding sign (existing or proposed) on the development site
- Methods of attaching all of the proposed signs (construction drawings and electrical, if needed)

Robert Brooks _____ // Beverly Dobrochowski _____
 Applicant Signature Date Property Owner Signature Date

Robert Brooks _____ // Beverly Dobrochowski _____
 Printed Name Printed Name

AREA BELOW IS FOR USE BY CITY OF WESTMINSTER

Case No. _____

RESULTS OF APPLICATION REVIEW

Application Approved

Application Rejected

 Comprehensive Planner Date

 Zoning Administrator Date

WCA NORTH LLC
2800 Quarry Lake Drive, Suite 340
Baltimore, MD 21209
(410) 308-0700

Property Owner's Authorization for the Installation of Signage

Date: 7/10/2023

Owner Name: WCA North LLC

Address: 2800 Quarry Lake Drive, Suite 340

City, State: Zip: Baltimore, MD: 21209

To the City of Westminster, Carroll County:

WCA North LLC, as Owner of the property located at:
255 Baltimore Boulevard, Westminster, MD 21157
authorizes David Allen/Allen Industries of North Carolina, Inc. and/or their authorized
agents to obtain sign permits, sign documents related to permitting as an authorized agent
for the owner, and to install approved signage at this location for the location referenced
above.

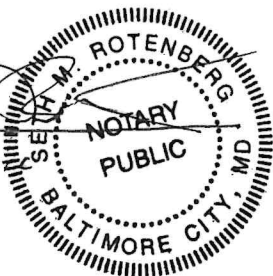
WCA North LLC

By: Beverly Dobrochowski
Beverly Dobrochowski, Vice President

State of Maryland

City
County of Baltimore

Seth M. Rotenberg
Notary Public



SETH M. ROTENBERG
Notary Public
My Commission Expires March 30, 2024

SPROUTS

FARMERS MARKET

Sprouts Farmers Market
SPR - J0006705_305
Westminster, MD
May 1, 2024



YOUR BRAND AT ITS BEST™

1-800-967-2553
www.allenindustries.com

Customer Approval / Signature

Signature: _____ Date: _____

SPROUTS FARMERS MARKET

STORE NUM.: 922

CROSS STREETS: Baltimore Blvd. and Center St.

ADDRESS:

343 Baltimore Blvd.
Westminster, MD 21157

WALL SIGNS:

Building Elevation	Area Allowed per Elevation	Signs Allowed per Elevation	LTR Height Allowed	PROPOSED	
				Sq. Footage	Sign Type
North	462	5	n/a	462	48" MID, 14" Sec.
South	0	not specified	n/a	0	n/a
East	0	not specified	n/a	0	0
West	0	not specified	n/a	0	n/a
Total	462	5	n/a	462	1-48" MID, 4- 14" Sec

NOTES: Backers do count in SF calc. Per LL SSP (SS-23-5) MID is limited to 198 SF & secondary signs to 66 SF including pasture gate. All signs comply with SS-23-5.

WINDOW SIGNS:

Building Elevation	Area Allowed per Code or LL	PROPOSED
		Sq. Footage
North	25% of glass area - no permit	n/a

FREESTANDING SIGNS:

Freestanding Signs:	Panel Size - Area or Dimensions	Panel Location:
street: One Pylon Sign - Two Panels	44.5" X 104" (32.2 SF per face)	Top
street: -	-	-

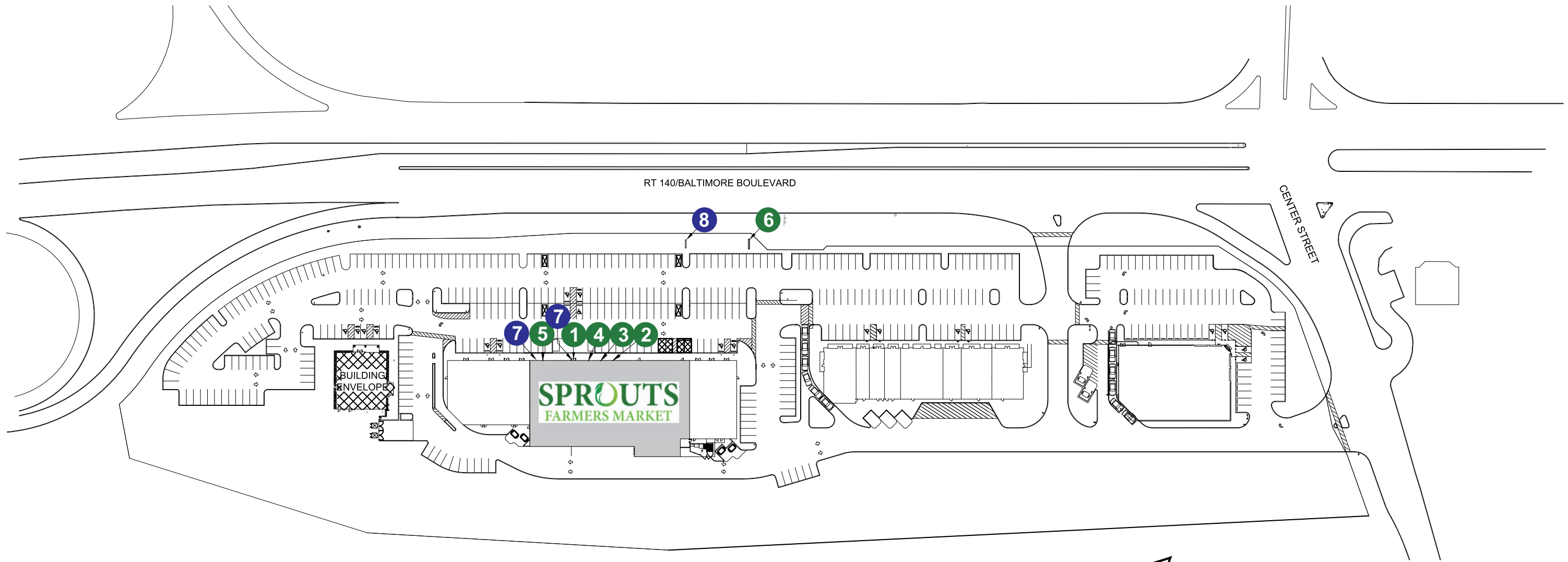
NOTES: One proposed monument sign at entrance on Baltimore Blvd.

VARIANCE IF REQUIRED / LIKELIHOOD

Variance: LL has SSP approved by city.	Likelihood:
---	-------------

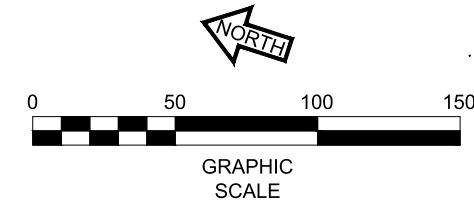
ADDITIONAL SIGNS / TEMPORARY SIGNAGE:

Banner. Not addressed in code or MSP. Propose 4' X 10' Banners on skid on Baltimore Blvd. and in front of building site/on building when ready.



SIGNAGE SITE PLAN

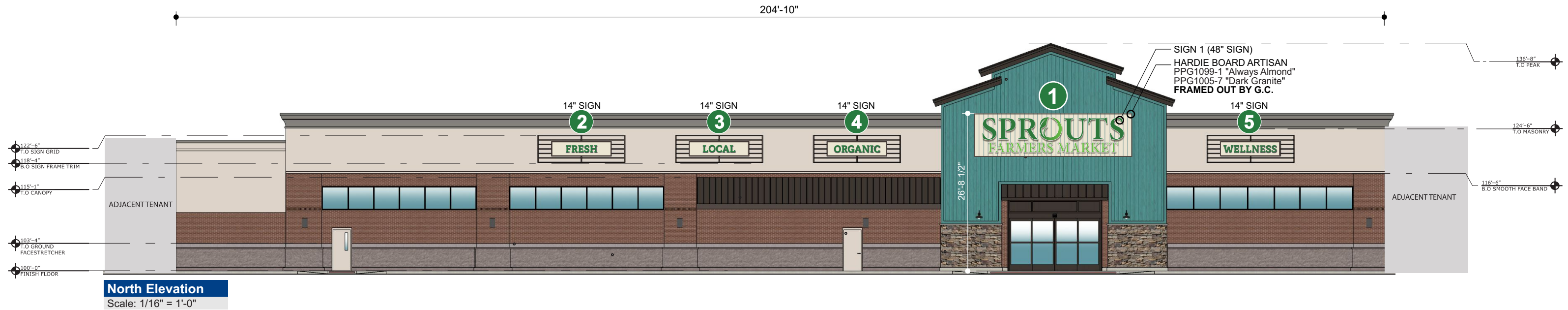
NOTE: THE PURPOSE OF THE SITE SIGNAGE - SITE PLAN IS TO IDENTIFY THE LOCATIONS OF SIGNAGE ONLY. SHOULD CONFLICTING DETAILS ARISE BETWEEN THIS PLAN AND THE SHOPPING CENTER PLAN (EXHIBIT A), THE SHOPPING CENTER PLAN (EXHIBIT A) SHALL GOVERN.



SIGN #	LOCATION	SIGN TYPE	SIGN #	LOCATION	SIGN TYPE
1	NORTH ELEVATION	ILLUM. CHANNEL LETTERS FLUSH MOUNTED	6	SITE	MULTI-TENANT MONUMENT SIGN TENANT FACE
2	NORTH ELEVATION	ILLUM. CHANNEL LETTERS ON PASTURED GATE	7	NORTH ELEVATION	TEMPORARY BANNERS
3	NORTH ELEVATION	ILLUM. CHANNEL LETTERS ON PASTURED GATE	8	SITE	TEMPORARY BANNER ON SKID
4	NORTH ELEVATION	ILLUM. CHANNEL LETTERS ON PASTURED GATE			
5	NORTH ELEVATION	ILLUM. CHANNEL LETTERS ON PASTURED GATE			

#	Date	Description
1	01/11/24	300
2	02/05/24	301
3	02/22/24	302
4	04/09/24	303
5	04/12/24	304
6	05/01/24	305

Initial	Client Review Status
DE	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
DE	
DE	
DE	
DE	
DE	
	Client Signature: _____ Approval Date: _____



North Elevation
Scale: 1/16" = 1'-0"

#	Date	Description
1	01/11/24	300
2	02/05/24	301
3	02/22/24	302
4	04/09/24	303
5	04/12/24	304
6	05/01/24	305

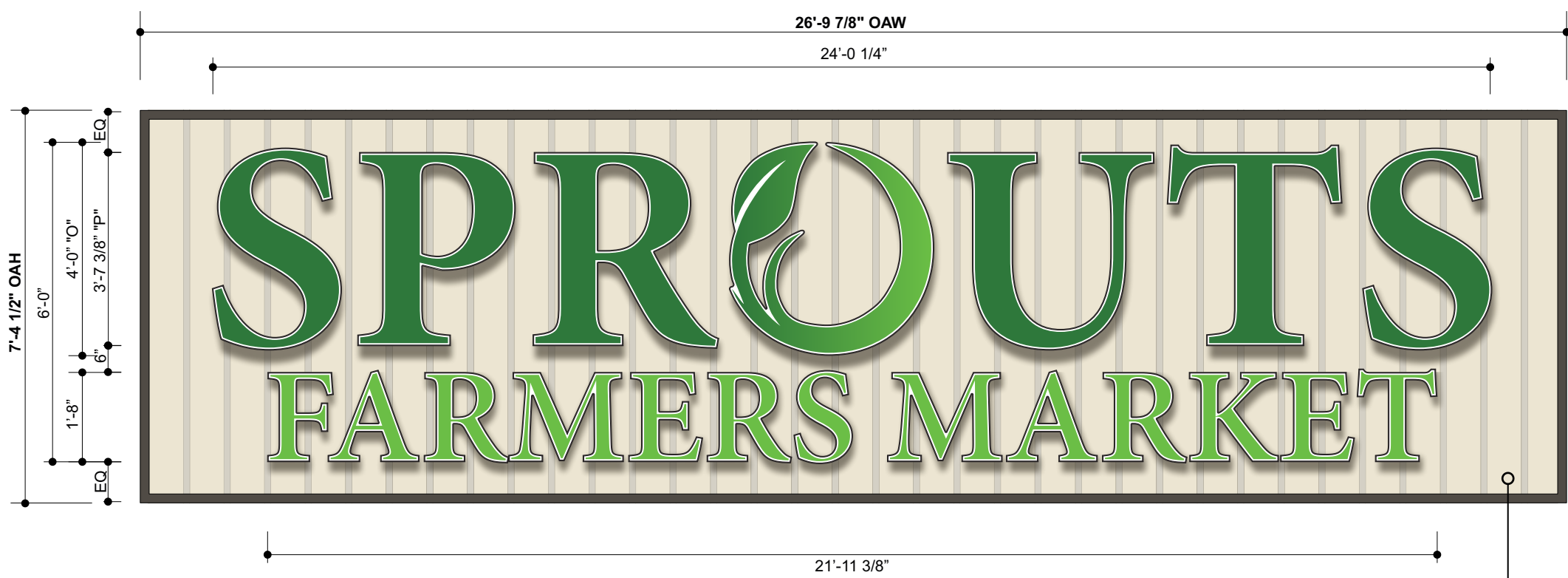
DE
DE
DE
DE
DE
DE

Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

Client Signature:

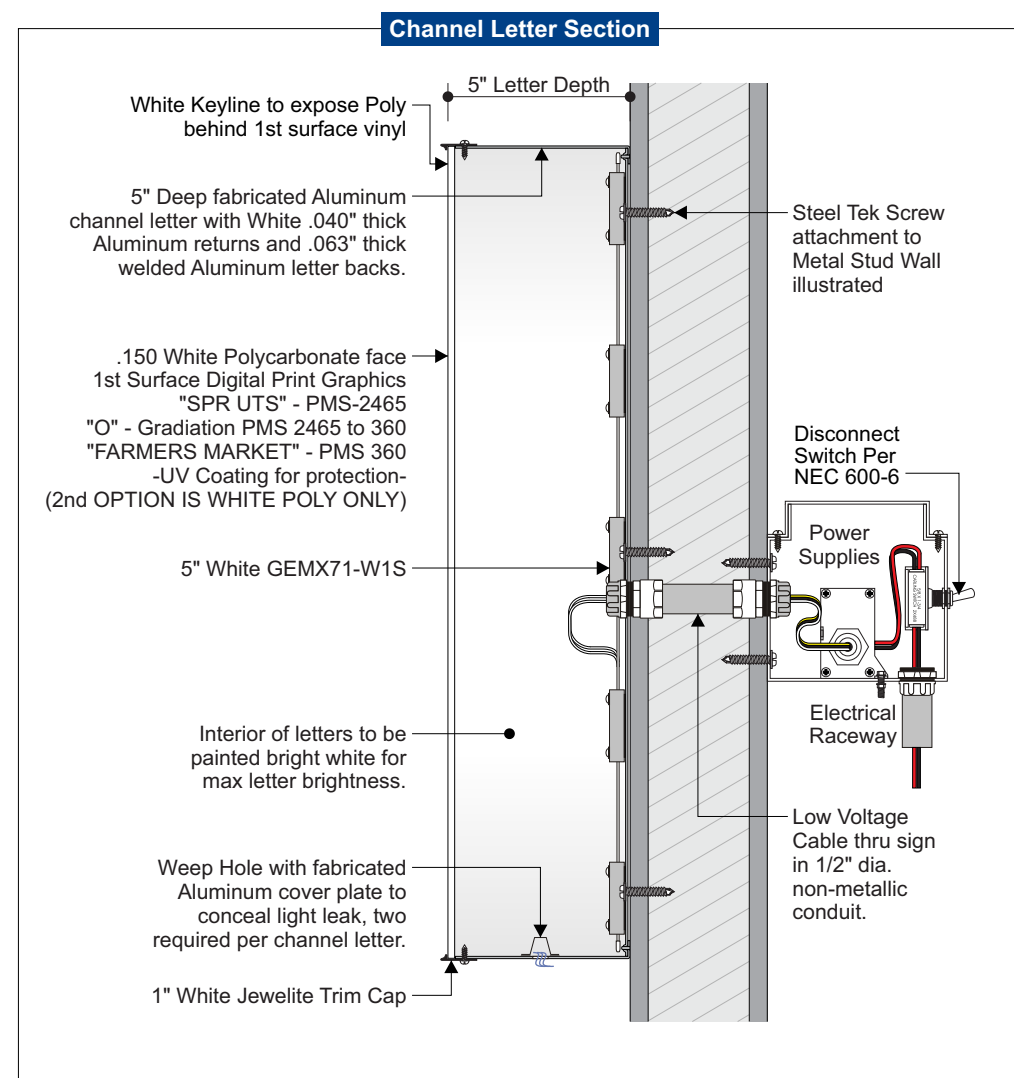
Approval Date:

1 48" Main ID Sign
Illuminated Channel Letters

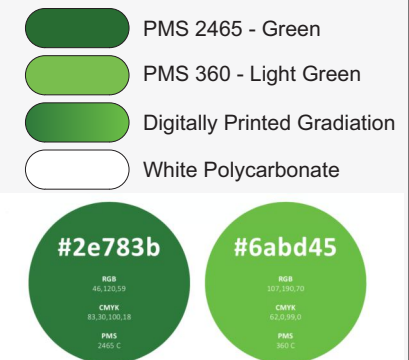


Front Elevation SQ. FT. = 152.9 LETTERING AREA (PER ZONING ORDINANCE, SIGN DISPLAY AREA IS 197.82 SF)
Scale: 3/8"=1'-0"

HARDIE BOARD ARTISAN
PPG 1099-1 "ALWAYS ALMOND"
FRAMED OUT BY G.C.



Color Specifications



DARKER GREEN (S, P, R, U, T, S): PMS-2465
LIGHTER GREEN (FARMERS MARKET): PMS-360
LETTER "O" GRADATES 2465 TO 360

Hardware Mounting Chart

Note:
Threaded Rod will be Provided Standard for All. Other Hardware Is to be Provided by the Installer As Req.

	Masonry	Wood	Metal
Signs and Raceways			
3/8" Zinc Plated Steel Threaded Rod Thru Wall	•	•	•
3/8" Lags with Shields	•		
3/8" Lag Bolts		•	
3/8" Toggle Bolts			•
Letters			
1/4" Zinc Plated Steel Threaded Rod Thru Wall	•	•	•
1/4" x 2-1/4" Tapcons	•		
Flathead Stainless Screws		•	•

Allen Industries
Listed Electric Sign Complies with UL48
E212503

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



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Client: Sprouts Farmers Market
Address: Westminster, MD

Date: 04/14/23 **Estimate #:** E5873 **Job #:** J0006705 **Page #:** 5 of 17
File Name: SPR-J0006705_Westminster, MD_305
Sales: House **Design:** DE **PM:** ET

#	Date	Description
1	01/11/24	300
2	02/05/24	301
3	02/22/24	302
4	04/09/24	303
5	04/12/24	304
6	05/01/24	305

Client Review Status
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
Client Signature: _____ **Approval Date:** _____

Material Breakdown		
MAX 71K (24V)	Modules	24V P/S
S	15	P/S 1 (100W)
P	18	
R	22	
O	27	
U	20	
T	17	P/S 2 (100W)
S	15	
F	9	
A	9	
R	11	
M	15	
E	11	
R	11	
S	8	
M	15	
A	9	P/S 3 (25W)
R	11	
K	9	
E	11	
T	8	

Sign Type	ILLUMINATION	Primary Circuit (120 VAC)	SKU	Description	Name	Quantity
CHANNEL LETTERS	FACE LIT	2.5 Amps	93053670	GEMX2471-W1S	MAX 71K (24V)	271 Modules 181 Ft
Can Depth	LED Distance From Face	Power Supply Location	Sign Area			
5"	N/A	REMOTE	54.97 Sq Ft			
Special Instructions			Total Module Watts			
ESTIMATE FOR ONE SIDE OF SIGN ONLY			169.10 Watts	GEPS24-100U-GLX	100W - 24V (GLX)	2 Ea
			Total System Watts	GEPS24-25U-NA	25W - 24V (NA)	1 Ea
			197.83 Watts			
Notes			Energy Usage			
			3.60 Watts/Sq Ft			
			191600041 or 192160004	Wire Connector		52 Ea
			9409	18 AWG Supply Wire		160 Ft
			191600041	Wire End Cap		40 Ea

TECHNICAL SUPPORT: 888-694-3533 EMAIL: tetradrawings@gecurrent.com	a Daintree company	Drawn By: YK Checked By: MK Date: 1/20/21	Job Name: SPROUTS Customer Name:	Drwg #: 088941 - 02 Rev - PAGE 1 OF 1
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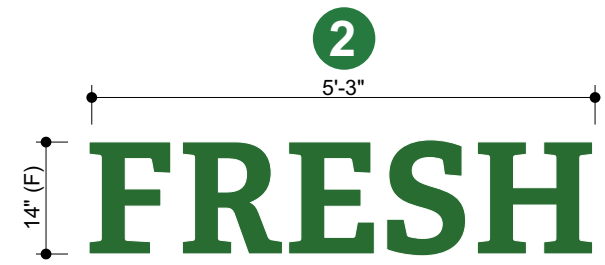
1) THE GRAPHICS ABOVE ARE FOR REFERENCE ONLY and should not be used for commercial quotation or bid without validation. The material estimates for Tetra® LED Systems are based upon our engineering standards and information provided pertaining to font, letter height, can depth, face material, and any special instructions provided by the customer. Missing information will cause delays in delivery of estimates as well as affect product selection, quantities, application, and illumination.

2) LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY. The sign manufacturer must verify module placement and quantity to ensure even illumination.

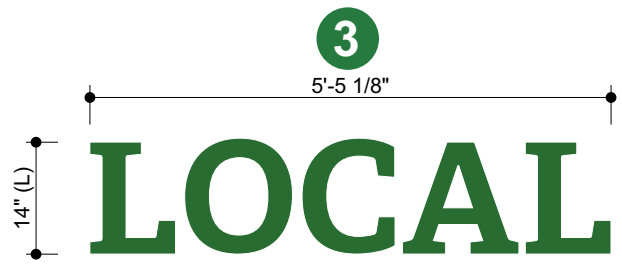
3) Final material quantities for estimation purposes and construction are the responsibility of the sign OEM.

4) All signs should be tested as complete units (including correct Tetra® power supply) before installation for acceptable color, illumination, intensity, & functionality.

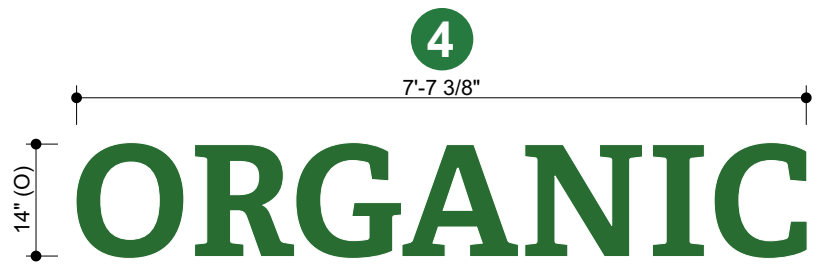
5) For detailed information refer to the applicable Tetra® product found under Signage; <https://products.gecurrent.com/led-signage-lighting>



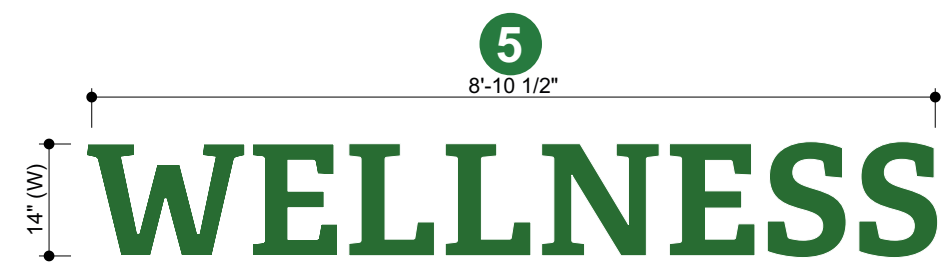
Front Elevation
 Scale: 1/2"=1'-0"
 Quantity: 1
LETTER SQ. FT. = 6.1



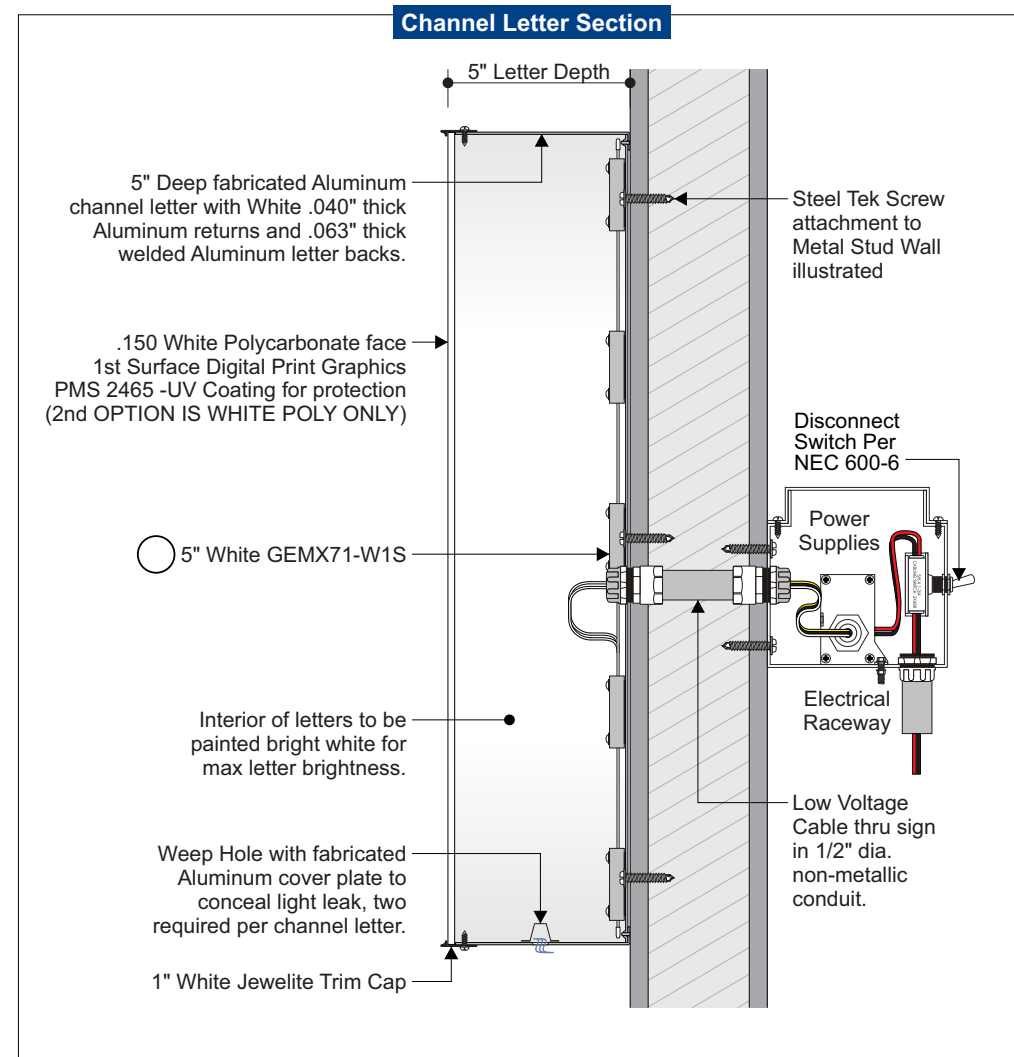
Front Elevation
 Scale: 1/2"=1'-0"
 Quantity: 1
LETTER SQ. FT. = 6.3



Front Elevation
 Scale: 1/2"=1'-0"
 Quantity: 1
LETTER SQ. FT. = 8.9



Front Elevation
 Scale: 1/2"=1'-0"
 Quantity: 1
LETTER SQ. FT. = 10.4



Color Specifications

- Prefinished White
- White Trim Cap
- White Polycarbonate
- PMS 2465 - Green

Hardware Mounting Chart

Note:
 Threaded Rod will be Provided Standard for All. Other Hardware Is to be Provided by the Installer As Req.

	Masonry	Wood	Metal
Signs and Raceways			
3/8" Zinc Plated Steel Threaded Rod Thru Wall	●	●	●
3/8" Lags with Shields	●		
3/8" Lag Bolts		●	
3/8" Toggle Bolts			●
Letters			
1/4" Zinc Plated Steel Threaded Rod Thru Wall	●	●	●
1/4" x 2-1/4" Tapcons	●		
Flathead Stainless Screws		●	●

Allen Industries MET E212503 Electric Sign Complies with UL48

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GROUNDING ELECTRICAL CONNECTIONS

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Client:
 Sprouts Farmers Market

Address:
 Westminster, MD

Date: 04/14/23
Estimate #: E5873
Job #: J0006705
Page #: 7 of 17

File Name:
 SPR-J0006705_Westminster, MD_305

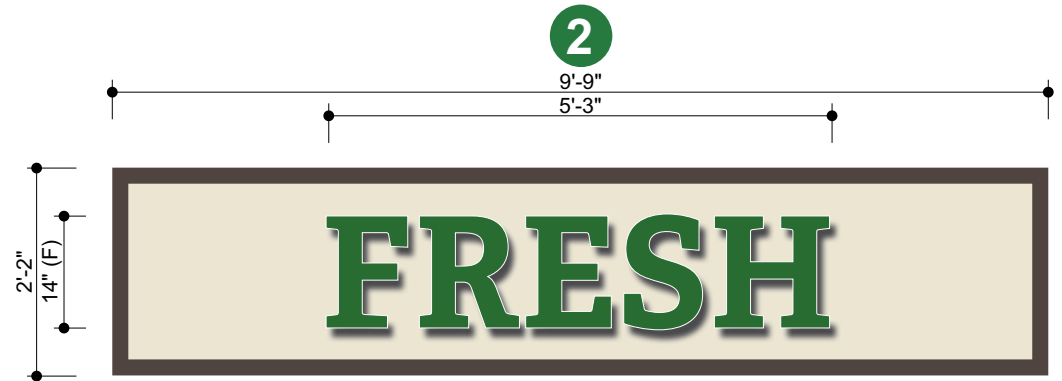
Sales: House
Design: DE
PM: ET

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6	05/01/24	305

Client Review Status

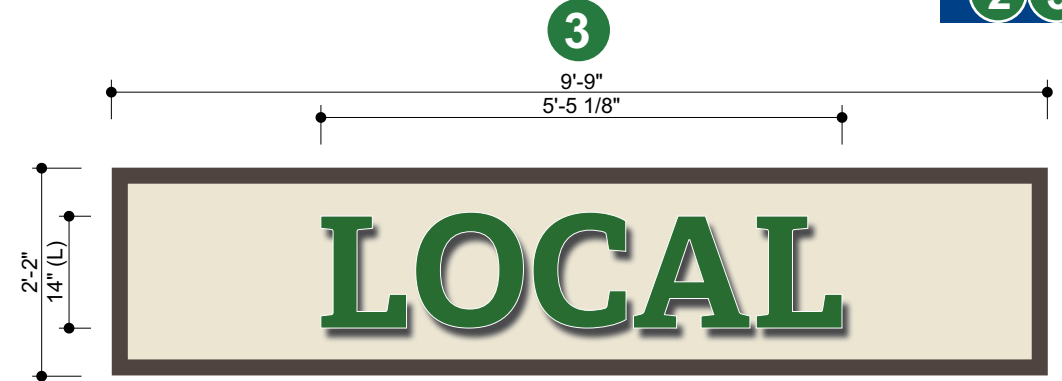
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Client Signature: _____ **Approval Date:** _____



Front Elevation
Scale: 1/2"=1'-0"
Quantity: 1

LETTER SQ. FT. = 6.1
FRAME SQ. FT. = 21.1



Front Elevation
Scale: 1/2"=1'-0"
Quantity: 1

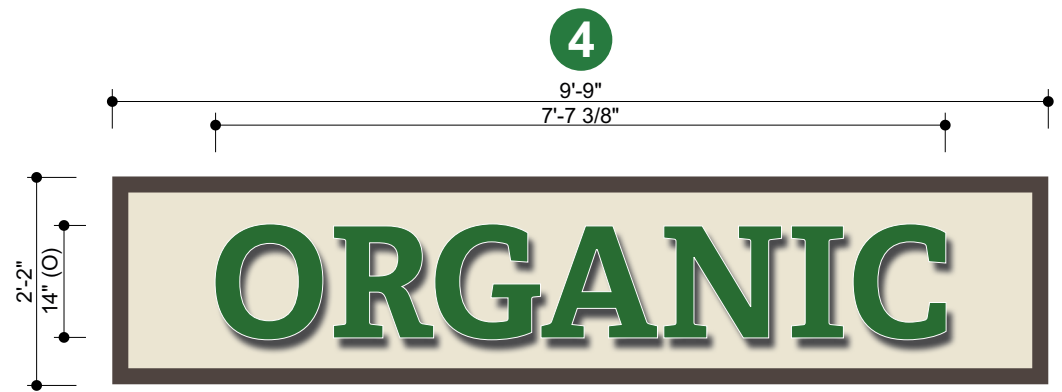
LETTER SQ. FT. = 6.3
FRAME SQ. FT. = 21.1



Night View

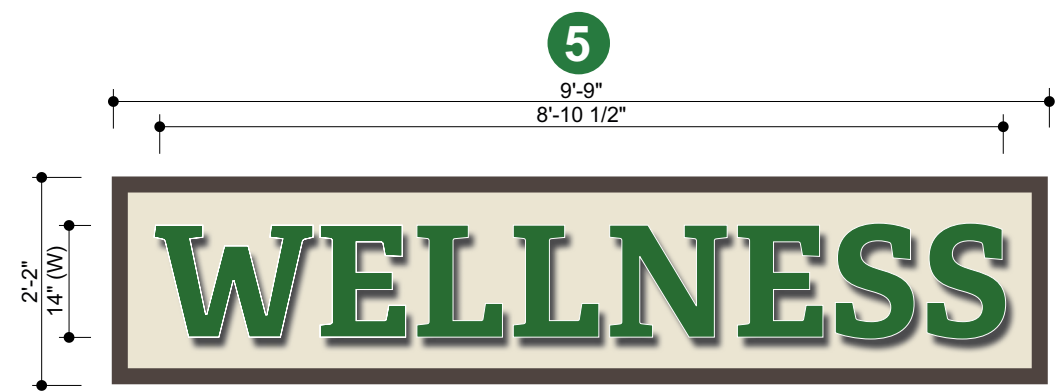


Night View



Front Elevation
Scale: 1/2"=1'-0"
Quantity: 1

LETTER SQ. FT. = 8.9
FRAME SQ. FT. = 21.1



Front Elevation
Scale: 1/2"=1'-0"
Quantity: 1

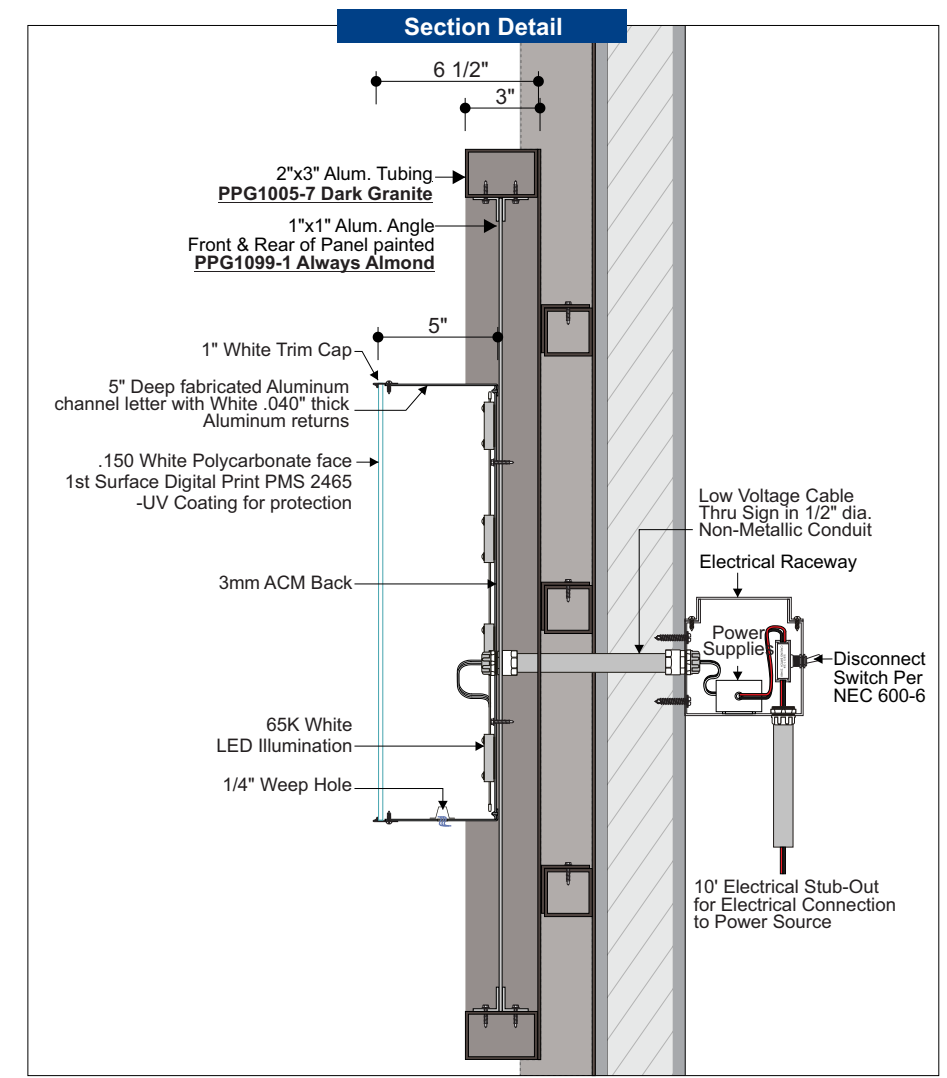
LETTER SQ. FT. = 10.4
FRAME SQ. FT. = 21.1



Night View



Night View



Color Specifications

- Prefinished White
- White Trim Cap
- White Polycarbonate
- Digital Print PMS 2465 UV Coating for protection
- PPG1099-1 Always Almond
- PPG1005-7 Dark Granite

Hardware Mounting Chart

Note: Threaded Rod will be Provided Standard for All. Other Hardware Is to be Provided by the Installer As Req.

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Signs and Raceways			
3/8" Zinc Plated Steel Threaded Rod Thru Wall	•	•	•
3/8" Lags with Shields	•		
3/8" Lag Bolts		•	
3/8" Toggle Bolts			•
Letters			
1/4" Zinc Plated Steel Threaded Rod Thru Wall	•	•	•
1/4" x 2-1/4" Tapcons	•		
Flathead Stainless Screws		•	•

Allen Industries MET E212503 Electric Sign Complies with UL48

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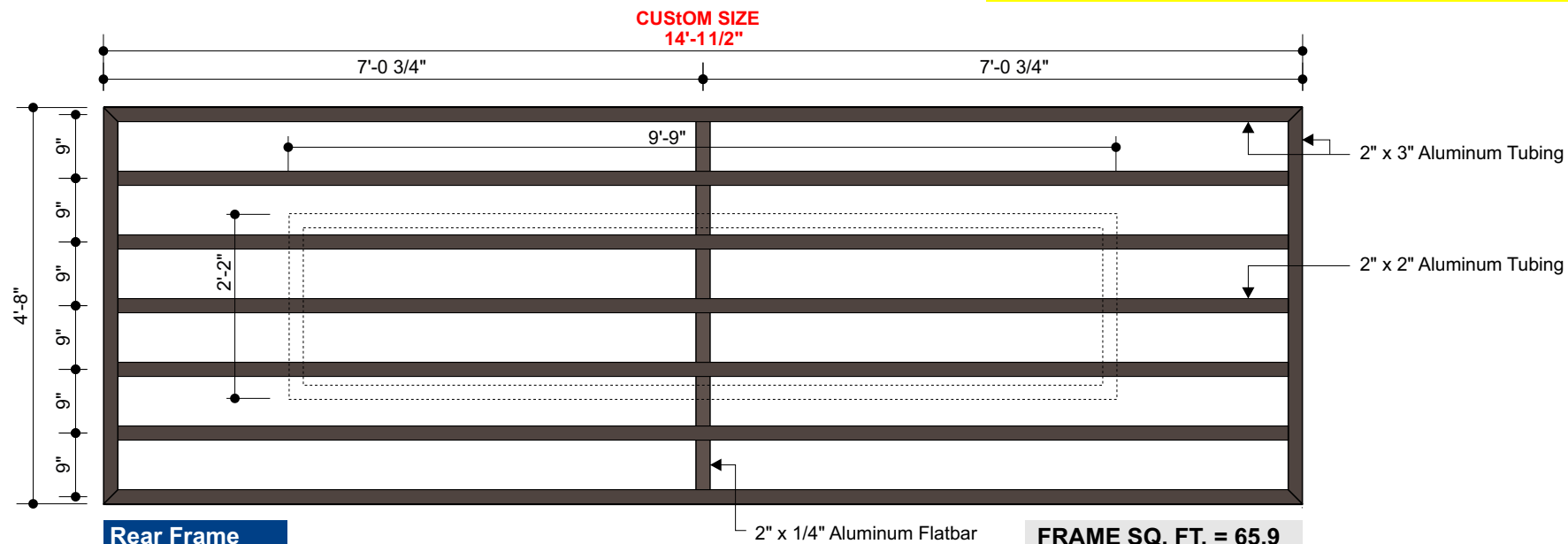
Client: Sprouts Farmers Market
Address: Westminster, MD

Date: 04/14/23
Estimate #: E5873
Job #: J0006705
Page #: 8 of 17
File Name: SPR-J0006705_Westminster, MD_305
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Design: DE
PM: ET

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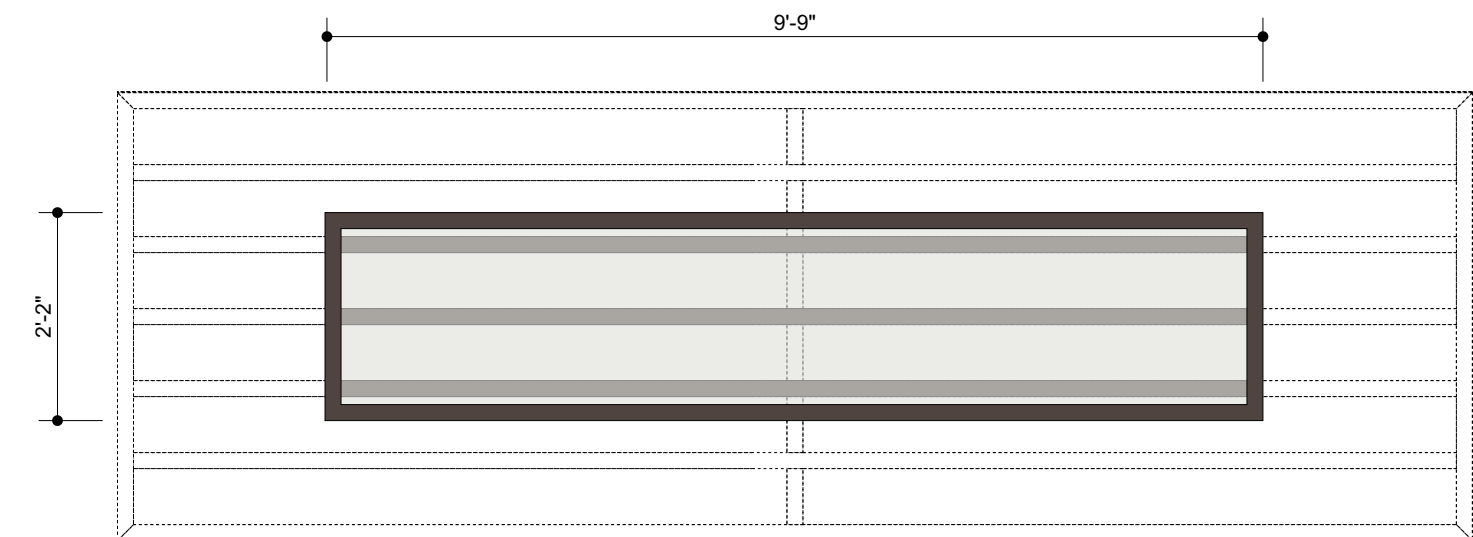
Client Review Status
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SIGN MOUNTING & FRAMING DETAILS FOR 14" SECONDARY SIGNAGE 2,3,4,5



Rear Frame
Scale: 1/2"=1'-0"

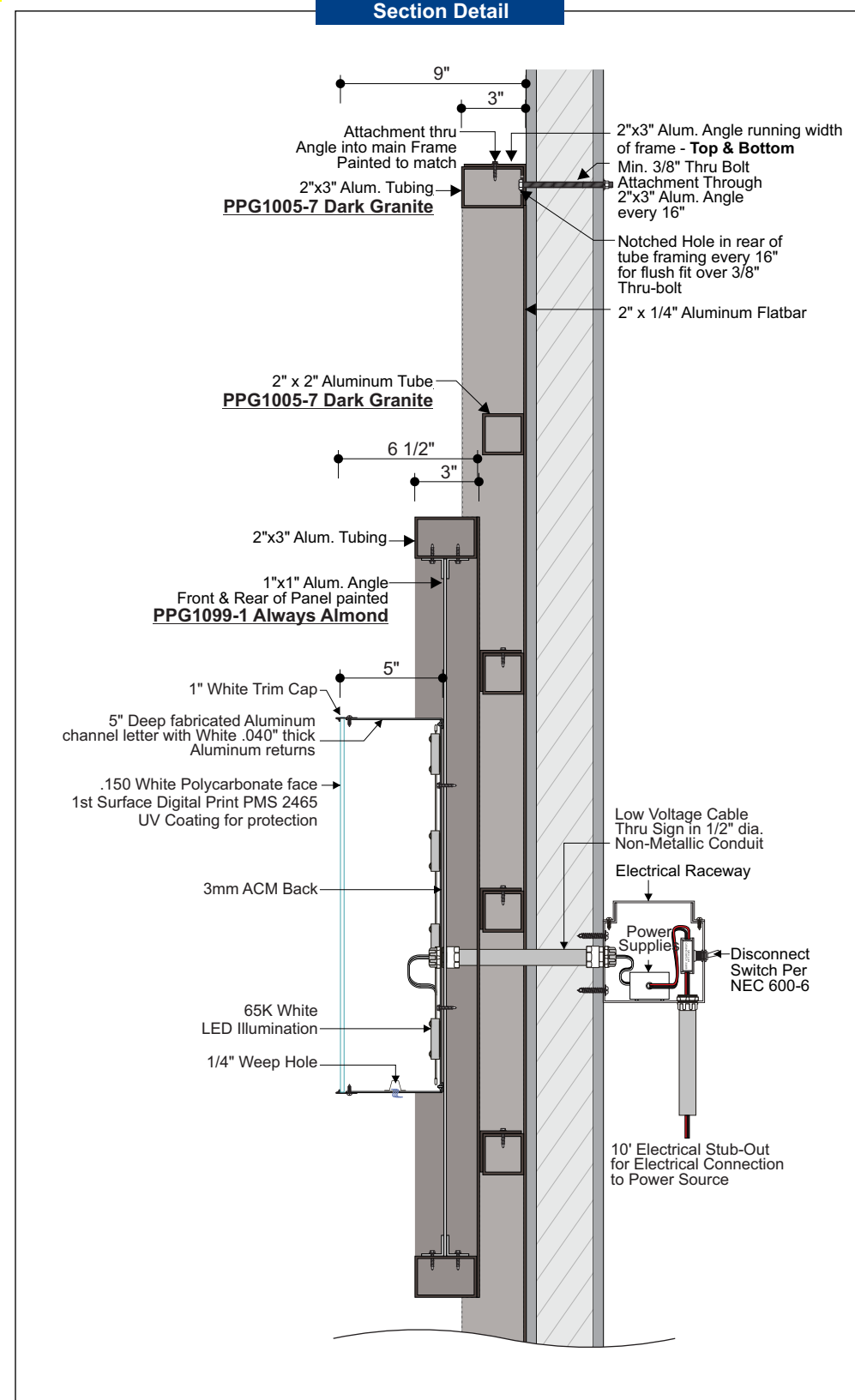
FRAME SQ. FT. = 65.9



Front Frame
Scale: 1/2"=1'-0"

Color Specifications

- PPG1099-1 Always Almond
- PPG1005-7 Dark Granite



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Client: Sprouts Farmers Market
Address: Westminster, MD

Date: 04/14/23	Estimate #: E5873	Job #: J0006705	Page #: 9 of 17
File Name: SPR-J0006705_Westminster, MD_305			
Sales: House	Design: DE	PM: ET	

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5	04/12/24	304
6	05/01/24	305

Initial	Client Review Status
DE	Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.
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	Client Signature: _____
	Approval Date: _____

7 Standard Banners

Proposed

TEMPORARY



Standard S/F Digitally Printed Banner

INSTALLS WITHIN 2 WEEKS OF CONSTRUCTION START DATE

Scale: 1/2" = 1'-0"

Hemmed And Grommets At Corners & Center
S/F Banner Material - 13oz. Arlon Gloss White

SQ. FT.= 40.0



Standard S/F Digitally Printed Banner

INSTALLS 90 DAYS PRIOR TO OPENING

Scale: 1/2" = 1'-0"

Hemmed And Grommets At Corners & Center
S/F Banner Material - 13oz. Arlon Gloss White

SQ. FT.= 40.0



Standard S/F Digitally Printed Banner

INSTALLS 30 DAYS PRIOR TO OPENING

Scale: 1/2" = 1'-0"

Hemmed And Grommets At Corners & Center
S/F Banner Material - 13oz. Arlon Gloss White

SQ. FT. = 40.0



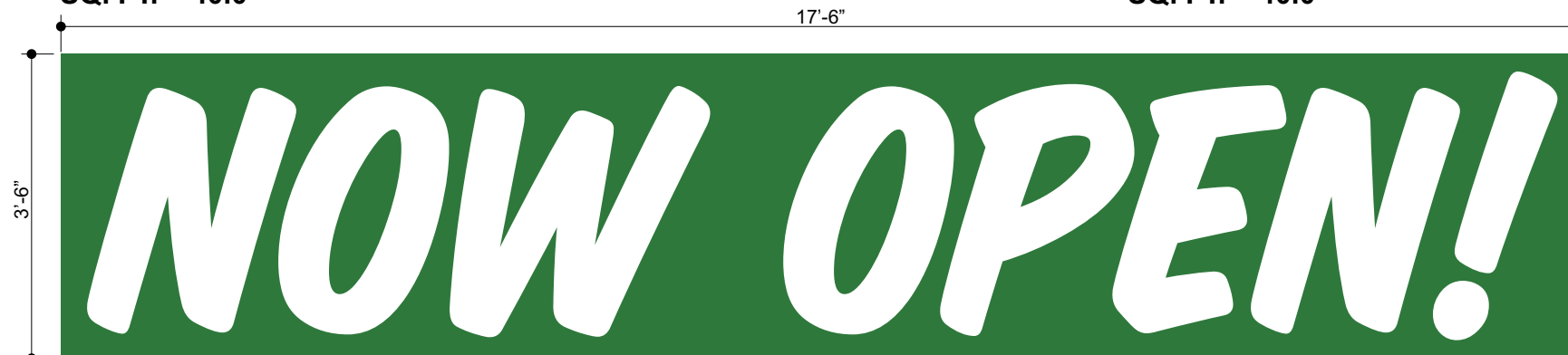
Standard S/F Digitally Printed Banner

INSTALLS 1 DAY PRIOR TO OPENING AFTER 7 PM

Scale: 1/2" = 1'-0"

Hemmed And Grommets At Corners & Center
S/F Banner Material - 13oz. Arlon Gloss White

SQ. FT. = 40.0



Standard S/F Digitally Printed Banner

INSTALLS 1 DAY PRIOR TO OPENING AFTER 7 PM

Scale: 1/2" = 1'-0"

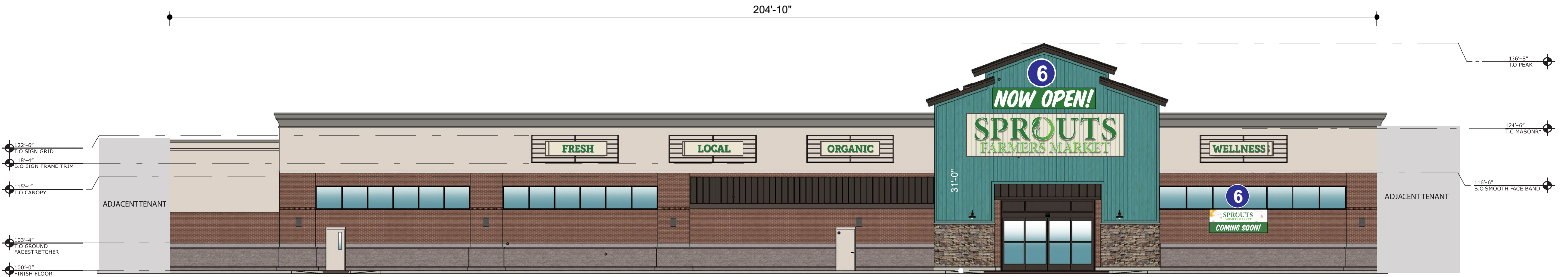
Hemmed And Grommets At Corners & Center
S/F Banner Material - 13oz. Arlon Gloss White

SQ. FT. = 61.25

7 Banner Locations

Proposed

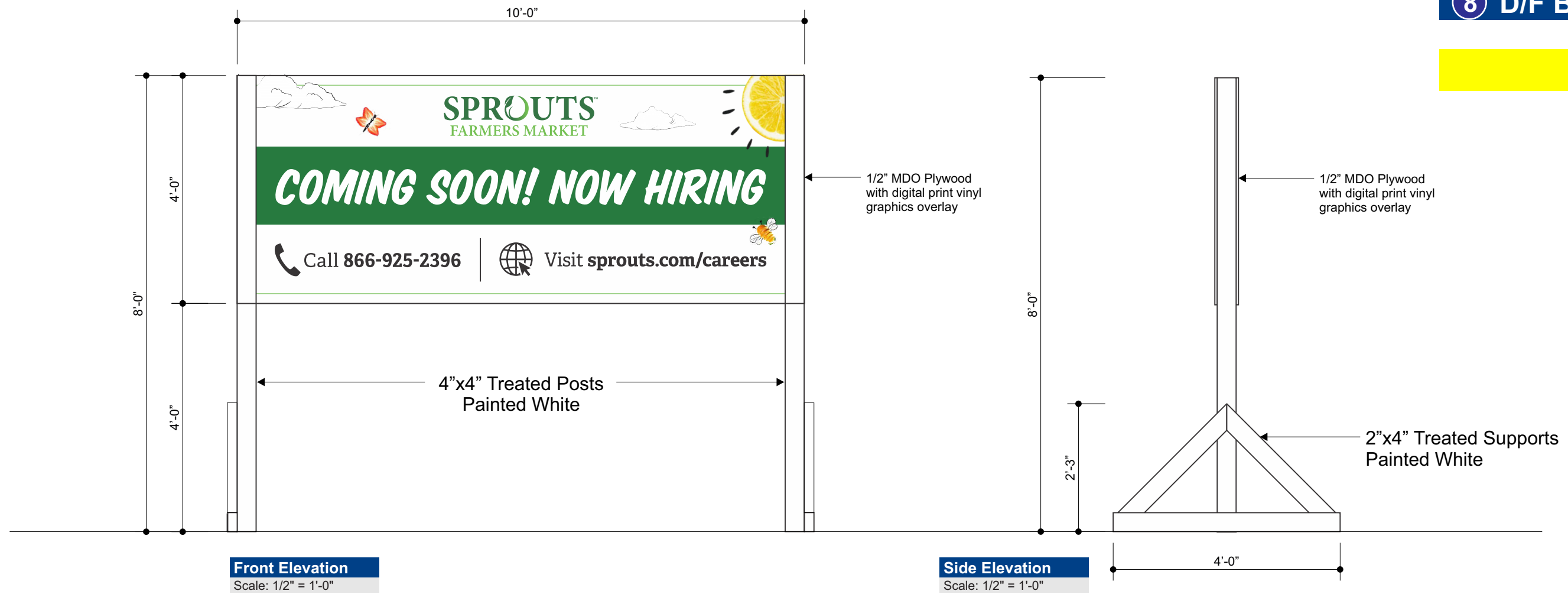
TEMPORARY



North Elevation
Scale: 1/16" = 1'-0"

#	Date	Description
1	01/11/24	300
2	02/05/24	301
3	02/22/24	302
4	04/09/24	303
5	04/12/24	304
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DE		
DE		
DE		
DE		
DE		
	Client Signature:	Approval Date:



Standard S/F Digitally Printed Banner

Hemmed And Grommets At Corners & Center
S/F Banner Material - 13oz. Arlon Gloss White

Quantity: 2

INSTALLS WITHIN 2 WEEKS OF CONSTRUCTION START DATE



Standard S/F Digitally Printed Banner

Hemmed And Grommets At Corners & Center
S/F Banner Material - 13oz. Arlon Gloss White

Quantity: 2

INSTALLS 90 DAYS PRIOR TO OPENING



Standard S/F Digitally Printed Banner

Hemmed And Grommets At Corners & Center
S/F Banner Material - 13oz. Arlon Gloss White

Quantity: 2

INSTALLS 30 DAYS PRIOR TO OPENING